

# BID PROPOSAL PACKAGE

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*City of Green River  
Request for Bid Proposal  
Lincoln Addition Residential Development*

The City of Green River is requesting bid proposals for the development of an assembled site of approximately 8.75 acres, described as Tract “B” and Tract “C” of the Lincoln School Addition to the City of Green River, Wyoming.

The City of Green River has determined through strategic and comprehensive planning efforts that it is a priority of the City to provide quality residential housing opportunities that meet the needs of the City’s residents, encourage infill, and are compatible with adjacent developed neighborhoods. In order to encourage residential development, the City of Green River is requesting proposals for a Detached Single-Family Residential Subdivision with open space dedication for future park space.

All bid proposals must conform to the specifications as listed below:

## **BID DEADLINE**

Sealed bids must be received by 2:00 p.m., MST, September 28, 2017.

## **EXPERIENCE**

The City is seeking proposals from proven and experienced residential subdivision developers. Please provide sufficient information to illustrate the company’s experience in residential subdivision development including subdivision name, location, number of lots and lot sizes, price range and status of related projects.

## **PROPERTY DESCRIPTION**

Tract “B” and Tract “C” of the Final plat of Lincoln School Addition, as recorded in the County Clerk’s Office of Sweetwater County, Wyoming, said property located in the South Half of Section 15, Township 18 North, Range 107 West, 6<sup>th</sup> Principal Meridian, Green River, Sweetwater County, Wyoming, consisting of 8.75 acres. See Attachment – Final Plat for Lincoln School Addition.

The old Lincoln School track and field currently sits on Tract “B”. The successful bidder shall be responsible for removing any above ground or underground materials, infrastructure and improvements as necessary for their development. The property is being sold “as is, subject to all faults”. The City of Green River makes no representation or warranty regarding the condition of the property and any property condition known or unknown. It shall be the sole responsibility of the bidder to conduct such inspections of the property as the bidder may require.

## **DESIGN AND DEVELOPMENT**

The City is seeking an experienced residential subdivision developer to develop the entire 8.75 acre property for single family residential lots that will include open space to be set aside for the development of a future public park. The site shall be developed as one phase. Multiple phases are not permitted. A

conceptual layout is included within this bid package as a “sample” however, the developer is not bound to utilize this concept if an alternative, comparable solution is provided.

Per the direction of the Governing Body, a portion of Tract “C” shall be dedicated for public park and open space purposes during the subdivision process. The area dedicated or public park and open space shall be easily accessible, functional, useable, and meet the needs of the public.

The property is zoned R-2, Single Family Residential, in accordance with the City of Green River Zoning Ordinance and Official Zoning Map. The following table outlines the minimum criteria for R-2 lot development:

Minimum lot area (square foot):	6,000
Minimum width of lot:	60'
Minimum gross floor area (square foot):	1,500
Minimum number of off-street parking spaces:	2
Minimum front yard setback for principal structure:	20' from property line
Minimum front yard setback for all principal structures on a corner lot and building face is not a main entry:	15' from property line
Minimum rear yard setback for all principal structures:	15' from property line
Minimum side yard setback for all principal structures:	7.5' from property line
Minimum front yard setback for accessory structures (i.e. detached garage):	20' from property line
Minimum front yard setback for accessory structures (i.e. detached garage) on a corner lot:	15' from property line
Minimum rear yard setback for accessory structures (i.e. detached garage):	7.5' from property line
Minimum side yard setback for accessory structures (i.e. detached garage):	7.5' from property line
Minimum open space in % of lot area and in square footage:	30% of lot
Maximum structure height:	35'

The successful bidder will, at their sole expense, engage engineers and architects to prepare designs, plans and specifications for development of the subdivision.

In accordance with the City of Green River Subdivision Ordinance, prior to approval of the Final Plat, the successful bidder shall guarantee the installation of the necessary subdivision improvements with a financial guarantee acceptable to the City for the full cost of the required improvements as approved by the City Engineer. Title to the property shall not be transferred until the Purchase and Development Agreement is signed, the financial guarantee is submitted and approved, and the Final Plat is approved by the Governing Body. The Final Plat will be recorded with the transfer of the title.

The successful bidder shall have the subdivision improvements installed and accepted by the Governing Body no later than twenty-four (24) months from the date of Final Plat approval in accordance with the Green River Subdivision Ordinance.

The City of Green River shall not issue Building Permits for the construction of any new residential structures within the subdivision until all subdivision improvements are constructed and accepted by the Governing Body and all obligations of the successful bidder under the Purchase and Development Agreement have been satisfied.

## PROJECT SCHEDULE

Within sixty (60) days of the date of the approved Purchase and Development Agreement, the successful bidder shall commence the subdivision application process by submitting a Sketch Plat Application and shall in good faith continue through the subdivision application process through to final plat approval by the Governing Body of the City of Green River. The subdivision process includes Sketch Plat, Preliminary Plat and Final Plat. Further information regarding the Green River subdivision process and design standards can be found in the Subdivision Ordinance, Green River Code of Ordinances, Appendix C.

The City will require that the Final Plat of the subdivision be approved by the City of Green River within 12 months of entering into the Purchase and Development Agreement. In the event that the Final Plat is not approved within the 12 month period, the City, at its sole discretion, will have the right to reconsider the Purchase and Development Agreement.

As noted above, subdivision improvements shall be installed and accepted by the City of Green River within 24 months from the date of the acceptance of the Final Plat, in accordance with the Green River Subdivision Ordinance (Code of Ordinances, Appendix C).

## REQUIRED CONTENT OF PROPOSAL

All bid proposals shall include the following information:

- Bid form
- A cover report/letter that provides the following information:
  - Firm's name, address, telephone and fax numbers, and email addresses.
  - The names, roles and qualifications of the key personnel that will be assembled to accomplish the project goals.
  - Sufficient information to illustrate the company's experience in residential subdivision development including subdivision name, location, number of lots and lot sizes, price range and status of related projects.
  - A brief summary of the firm's financial stability.
  - Brief summary of the proposal approach, bid amount, deliverables and schedule.
- Preliminary Conceptual Plan. The site shall be designed to produce an efficient, functional, and cohesive development that contributes to the overall aesthetic quality of the area. At a minimum, the conceptual plan shall include the following:
  - Lot layout and lot sizes
  - Right-of-way and street layout
  - General description of housing (sample floor plans, building elevations, and square footage).
  - The area proposed to be dedicated for public park and open space purposes. Size, access, functionality, and usability shall be demonstrated.
- A detailed project schedule must be submitted with the bid proposal.
- List of references.

## SUBMITTAL REQUIREMENTS

The City of Green River will allow bid submittals at the office of the Finance Department, Green River City Hall, 50 East 2<sup>nd</sup> North, Green River, WY 82935 until 2:00 p.m. local time on Thursday, September 28, 2017. No faxed or emailed bids will be accepted. No submittals will be accepted after that time and date.

Six copies of the bid proposal must be submitted in a sealed envelope bearing the project name “Lincoln Addition Bid Proposal.” All submissions become property of the City of Green River and are subject to the Freedom of Information and Privacy Legislation.

All bids must be accompanied by a bid bond or a separate certified or cashier’s check payable to the City of Green River, Wyoming, in an amount equal to five percent (5%) of the amount bid. Upon approval of the bid, the successful bidder’s check shall be deposited immediately. All bid bonds shall remain in effect until the Final Plat is approved (including submittal of the financial guarantee referenced above), the remaining amount of the bid is paid to the City of Green River, and the property is successfully transferred.

## **SELECTION**

A selection committee will review all proposals submitted by the time and date specified according to the factors and criteria included with this Bid Proposal Package. The selection committee will consider the following factors in its review of the proposals received:

<b>Factor</b>	<b>Weight Given</b>
1. Bid amount	55%
2. Conceptual plan (layout/design, fit with neighborhood, proposal for park land dedication, etc.)	20%
3. Firm Experience & Qualifications of Personnel, including Financial Stability	10%
4. Project Schedule	10%
5. Quality of References and Results of Reference Checks	5%

The best qualified bidder, all factors considered, will be selected for agreement discussions. While the bid amount is one consideration in the evaluation, it is not the only factor to be considered. Upon selection, the City of Green River, Wyoming intends to negotiate terms of a Purchase and Development Agreement with the bidder deemed to best serve the interests of the City. If contract negotiations are unsuccessful, the City reserves the right to negotiate with the next highest-ranked bidder. The City is not under any obligation to award a contract.

The City reserves the right to waive any and all informalities in the submittal process, or within any proposal. The City may require up to sixty (60) days after opening the proposals to award the bid.

After the bid is awarded, the successful bidder must provide proof of adequate insurance acceptable to the City of Green River. The following minimum amounts are required:

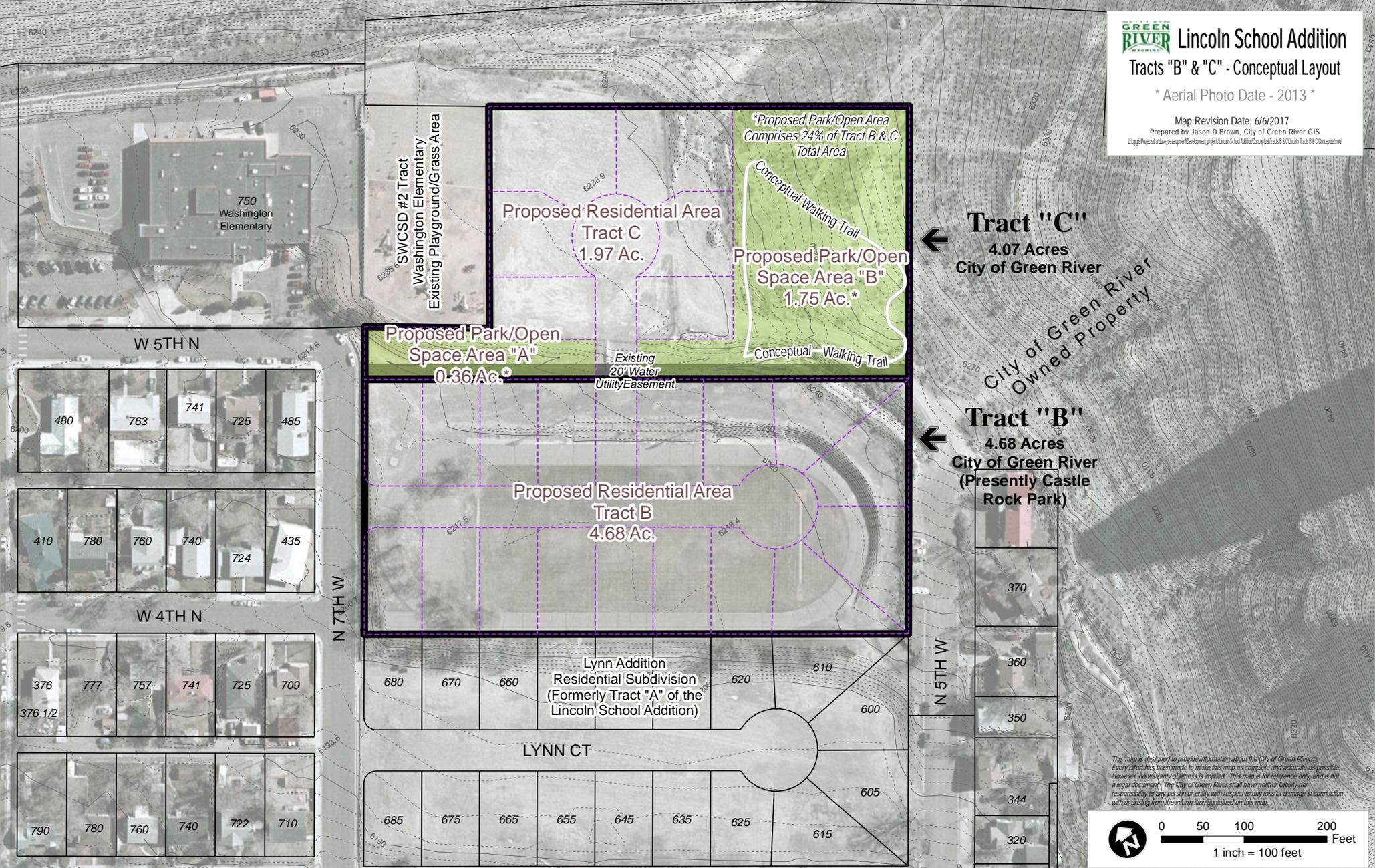
1. Worker’s Compensation: Statutory Limits
2. Comprehensive General & Auto Liability: \$1,000,000 per occurrence and \$2,000,000 aggregate
3. Professional Liability: \$500,000

The City of Green River shall be named as an additional insured in accordance with applicable State laws.

## **INFORMATION**

All questions shall be submitted in writing to: Laura Leigh, Director of Community Development, City of Green River at 307-872-6146 or email at [lleigh@cityofgreenriver.org](mailto:lleigh@cityofgreenriver.org). All answers will be posted along with the bid on the City of Green River’s website: [www.cityofgreenriver.org](http://www.cityofgreenriver.org).





This map is designed to provide information about the City of Green River. Every effort has been made to make this map as complete and accurate as possible. However, no warranty of fitness is implied. This map is for reference only and is not a legal document. The City of Green River shall have neither liability nor responsibility to any person or entity with respect to any loss or damage in connection with or arising from the information contained on this map.

