



## Boat House Checklist

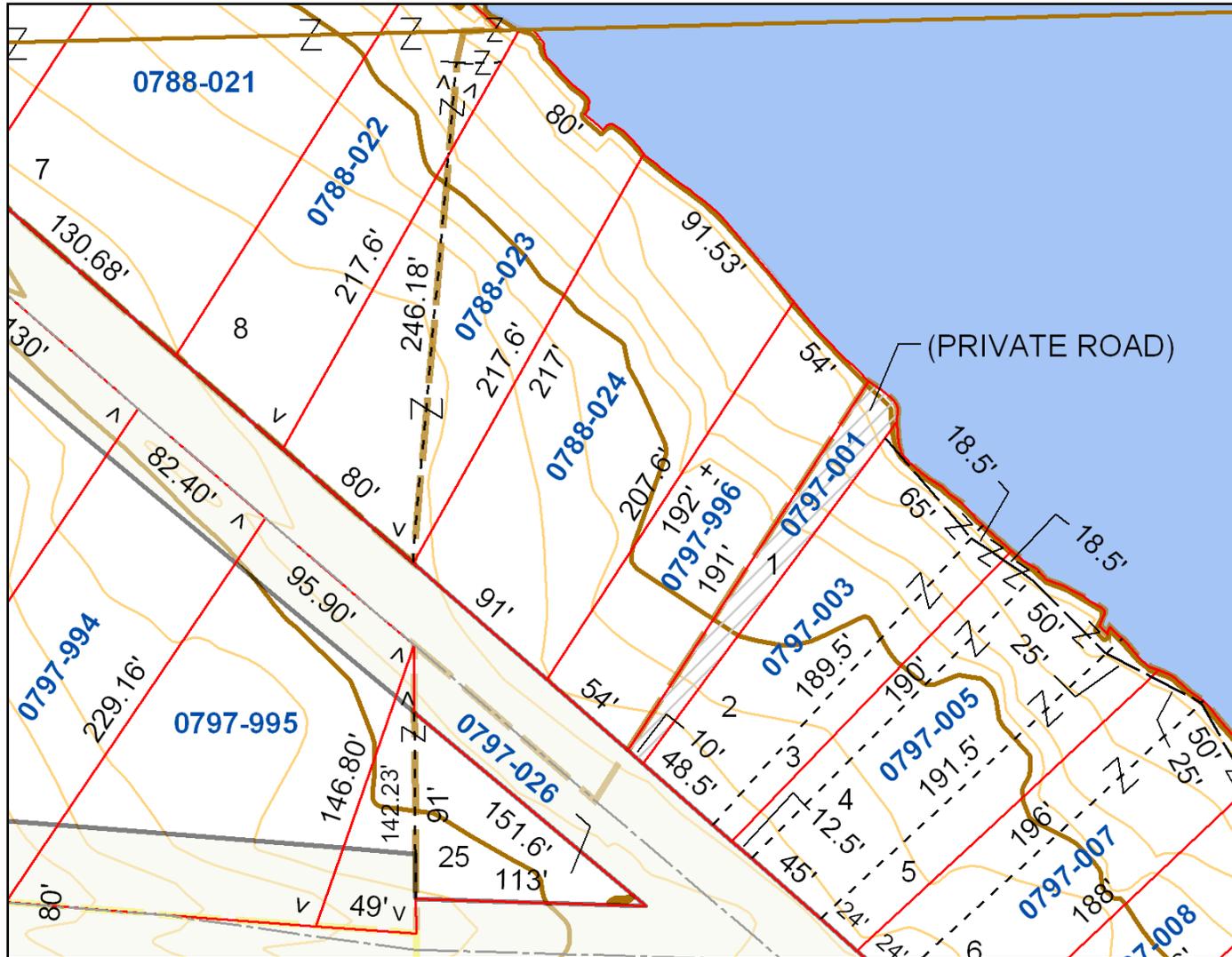
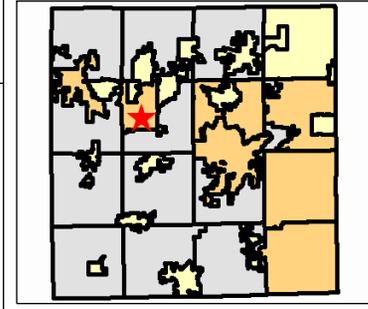
If you need assistance preparing your application please contact the Building Inspector.

- | City                     | Applicant                |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | Contact Building Inspector – Scott Hussinger <ul style="list-style-type: none"> <li>• Cell - 262-490-8222</li> <li>• Email - shussinger@ci.delfield.wi.us</li> </ul>             |
| <input type="checkbox"/> | <input type="checkbox"/> | Review Zoning Code Section 17.22   |
| <input type="checkbox"/> | <input type="checkbox"/> | Title Report   |
| <input type="checkbox"/> | <input type="checkbox"/> | Site Plan or Survey: 11 x 17 minimum format; (see attached sample)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Required setback at side yard (for new boathouse).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Required setback at high water mark (for new boathouse).   |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate location of existing or proposed boathouse and setbacks.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate location and method of rainwater run-off treatment. (ie. Rain garden)   |
| <input type="checkbox"/> | <input type="checkbox"/> | Include Plant species list. See Zoning Code Section 17.22 (2) for list of approved species.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Include detailed landscape layout  |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate direction of roof pitch of rainwater run-off.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate rainwater downspout locations.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate existing retaining wall location(s) and height(s).  |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate any new retaining walls their proposed location and height.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate plumbing detail, including fixtures and hose bibs, if water is being provided to the boathouse.   |
| <input type="checkbox"/> | <input type="checkbox"/> | Maps from <a href="http://maps.waukeshacounty.gov/imf/sites/waukesha">http://maps.waukeshacounty.gov/imf/sites/waukesha</a> of site and surrounding lots; (see attached samples) |
| <input type="checkbox"/> | <input type="checkbox"/> | Waukesha county maps; Land tab with topographic (Contour Line 2005) @ 1:1000 scale in color  |
| <input type="checkbox"/> | <input type="checkbox"/> | Waukesha county maps; Aerial Photography 2015 tab @ 1:100 scale in color, boathouse to be outlined in black marker pen.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Floor Plan & Elevations: 11 x 17 minimum format @ 1/8" or 1/4" scale.  |
| <input type="checkbox"/> | <input type="checkbox"/> | Indicate building heights on elevations. (see attached samples)  |
| <input type="checkbox"/> | <input type="checkbox"/> | Photo: 3 x 5 minimum color of existing house (if remodeling boathouse to blend with existing house)  |
| <input type="checkbox"/> | <input type="checkbox"/> | Photos: 3 x 5 minimum color from lake of property applying from and neighbor on both sides.  |

### 17.24 Definitions

**Boathouse.** An accessory structure located close to the ordinary high-water mark and designed and used for the storage of boats and accessory marine equipment normally used in the daily activities of lakefront property and which has a large garage type door for primary access on the side of the building facing the water. (Am. #602)

**Rain garden.** A shallow depression in the soil into which stormwater runoff from impervious surfaces, i.e., pavement and roofs, are directed. Rain gardens are planted with native Wisconsin grasses and forbs with deep root systems, in compliance with the City of Delafield Lake Nagawicka Rain Garden Planting List, to allow water to infiltrate into the soil. (Cr. #602) How to build a rain garden: <http://dnr.wi.gov/runoff/rg/>.



### Legend

**Points of Interest**

Type

- ✈ Airport
- Cemetery
- 🏠 Fire Station
- 🏢 Government Building
- 🏥 Hospital
- 📖 Library
- 🏛 Post Office
- 🏠 Park or Recreation
- 🎓 School
- 🏘 Unincorporated Place
- 🏞 County Parks
- 🚓 Police Station
- 👮 Sheriff Substation
- 🗺 Civil Division Boundaries
- 🗺 Surrounding Counties
- 📏 FLDJ Section Line
- 📏 FLSJ Quarter-Section Line

**Cartographic Elements**

Type

- Easement Line (Map)
- Easement Area
- Enclosed Tie Line
- Intersecting Arroy
- Meander Line
- Note Leader
- Parcel Line (Map)
- Sighting Tri
- Tie Hook
- Tie Line
- ROW Centerline
- RR ROW Centerline
- ROW Radius
- Sub Block 100
- Sub Block 200
- Parcel
- Shared/Inherited Parcel

**Road Rights of Way**

Right of Way Type

- Dedicated
- Proposed
- Reserved
- Vacated
- Accessory Plat
- Condo Plat
- Eas
- Subdivision Plat

**Railroad Rights of Way**

RR ROW Status

- Active
- Inactive
- Lakes and Rivers
- Streams and Creeks

**Contour Lines 2005**

Type

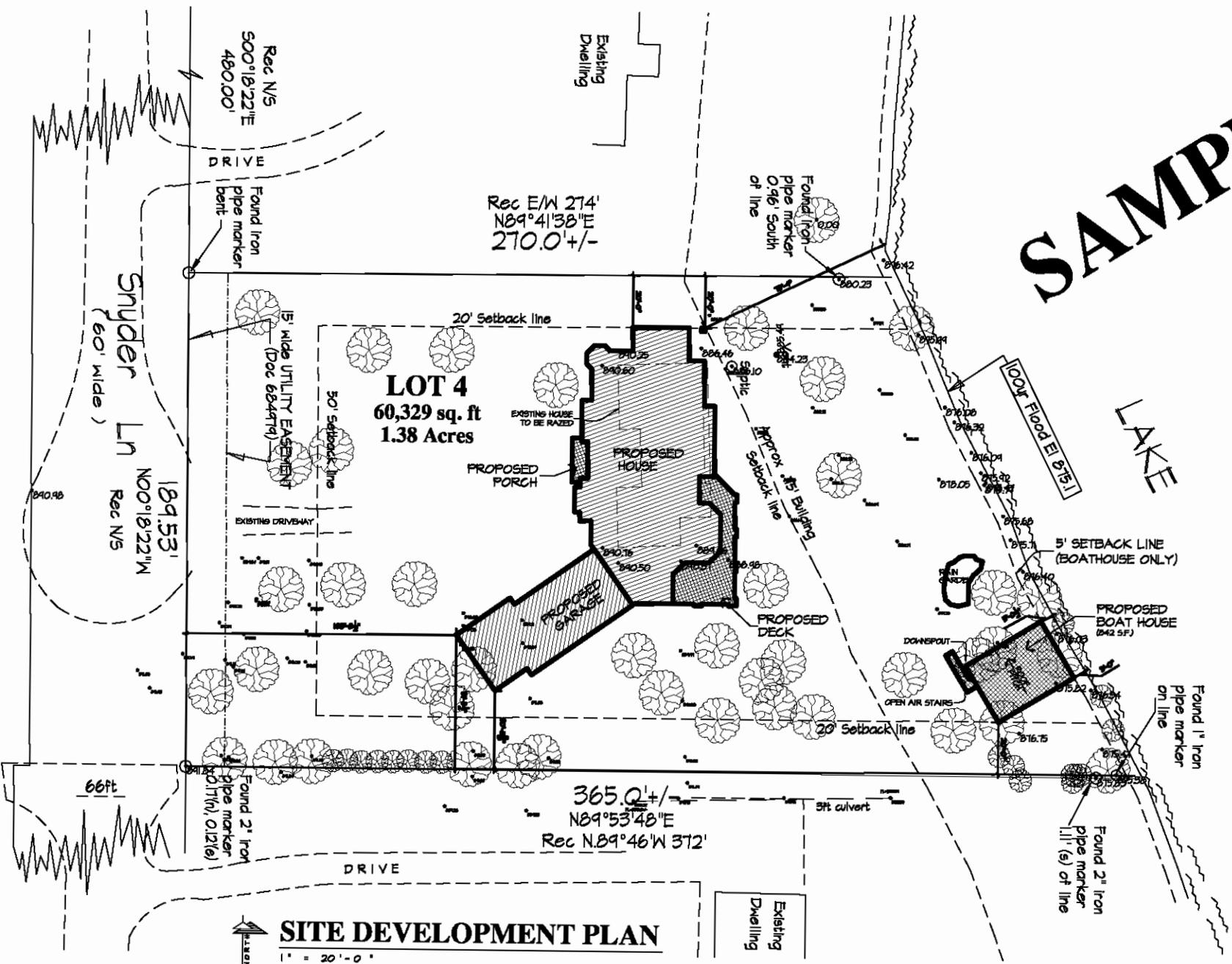
- In-Side Contour Line
- Water Contour Line Approx
- In-Side Depression Line
- In-Side Depression Line Approx
- Wetland Depression Line
- Wetland Depression Line Approx
- Intermediate Contour Line
- Intermediate Contour Line Approx



The information and depictions found on this site are for informational purposes only and Waukesha County specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Waukesha County will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning.

**SAMPLE**

**LAKE**



Rec E/W 274'  
N89°41'38"E  
270.0 +/-

**LOT 4**  
60,329 sq. ft  
1.38 Acres

Snyder Ln  
(60' wide)  
189.53'  
N00°18'22"W  
Rec N/S

Rec N/S  
500°18'22"E  
480.00'

Found iron  
pipe marker  
bent

Found iron  
pipe marker  
0.96' South  
of line

100' Flood E 5' S

5' SETBACK LINE  
(BOATHOUSE ONLY)

PROPOSED  
BOAT HOUSE  
(842 SF)

LAKE ELEVATION  
874.2'  
(TAKEN 3/13/2009)

Found 1" iron  
pipe marker  
on line

Found 2" iron  
pipe marker  
11' (S) of line

365.0 +/-  
N89°53'48"E  
Rec N.89°46'W 372'

**SITE DEVELOPMENT PLAN**



1" = 20'-0"

Existing  
Dwelling

EXISTING DRIVEWAY

EXISTING HOUSE  
TO BE RAZED

Approx. 35' Building  
Setback line

DOWNSPOUT

OPEN AIR STAIRS

3ft culvert

PROPOSED PORCH

PROPOSED HOUSE

PROPOSED GARAGE

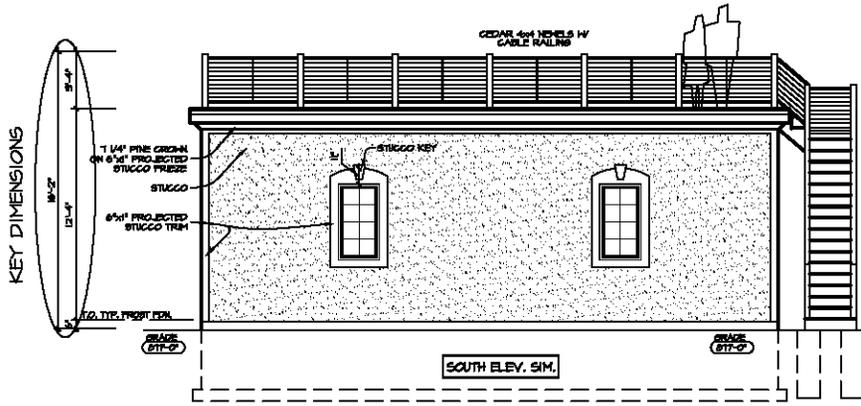
PROPOSED DECK

5' wide UTILITY EASEMENT  
(Doc 684979)

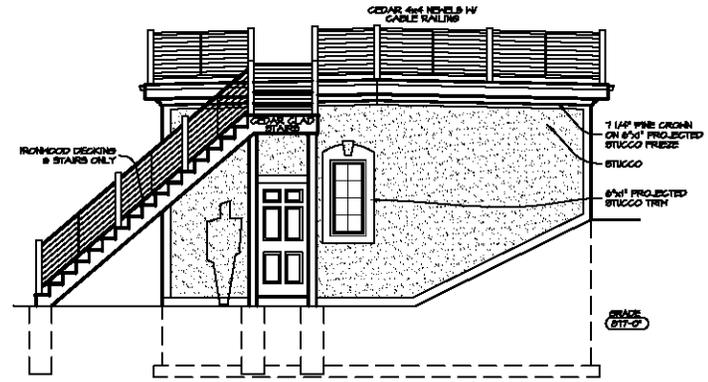
20' Setback line

30' Setback line

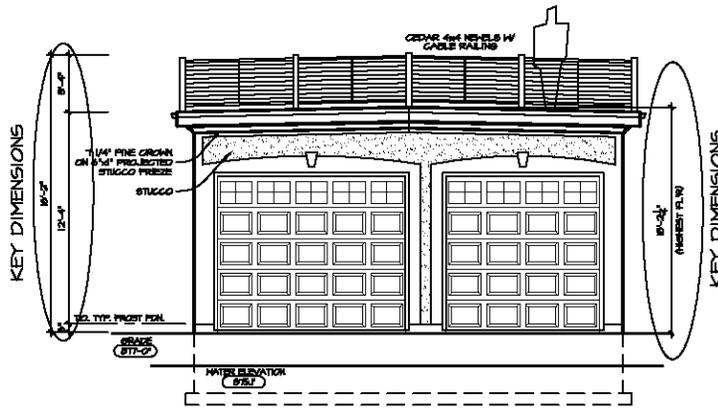
1' setback



**NORTH ELEVATION**  
1/4" = 1'-0"



**WEST ELEVATION**  
1/4" = 1'-0"



**LAKE (EAST) ELEVATION**  
1/4" = 1'-0"

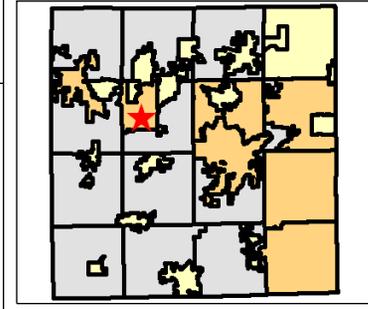
**SAMPLE**

**SAMPLE**





# Waukesha County GIS Map



## Legend

- Points of Interest**
- Type
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  - Fire Station
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  - PLSS Section Lines
  - PLSS Quarter Section Lines
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  - RR ROW Centerline
  - ROW Radius
  - Sub Block 100
  - Sub Block 200
  - Parcels
  - Shared Interest Parcels
- Road Rights of Way**
- ROW Type
- Dedicated
  - Proposed
  - Reserved
  - Wooded
  - Assessor Plat
  - Condo Plat
  - CSM
  - Subdivision Plat
- Railroad Rights of Way**
- RR ROW Status
- Active
  - Retired
- Lakes and Rivers**
- Streams and Creeks
- Waukesha County 2007 RGB**
- Red: Band\_1
  - Green: Band\_2
  - Blue: Band\_3



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