



Q SQUARED™
CONSTRUCTION EXPERTISE

Construction Estimate Report

Renwick Community Memorial Hall Upgrade
Stage II

27 High St, Renwick 7204

QS18032

11 May 2018

Prepared By
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Quantity Surveyor | Building Surveyor

Report addressed to the client:

Renwick Community Memorial Hall Trust

c/- Redbox Architects

Nelson

Contents

1	Introduction.....	3
2	Executive Summary	3
3	Scope	3
3.1	Site.....	3
3.2	Documents.....	4
3.3	Assumptions and limitations	4
3.4	Description of the works	4
3.5	Construction Period	5
3.6	Market conditions	5
4	Estimate.....	5
4.1	Elemental summary.....	6
4.2	Schedule.....	6
5	Limitations	7
6	Appendices.....	8
6.1	Schedule.....	8
6.2	Documents.....	9
6.3	Hierarchy of Documents for BIM	10

1 Introduction

Q Squared has been engaged by the Renwick Community Memorial Hall Trust to estimate the cost to carry out alterations and additions to an existing hall.

The estimate is based upon a drawing set provided by Redbox Architects.

All costs in this report exclude Goods and Services Tax.

2 Executive Summary

Q Squared estimate the cost to complete the building works will cost:

\$626,490.33 excluding GST

The cost of professional fees or consent fees are not included.

The gross floor area of the total hall is **611 m²**, excluding the new deck and canopy.

#	Element Group	%	\$/m ²	Total cost
1-5	Structure	12%	\$118.30	\$72,278.56
6-8	Exterior fabric	21%	\$220.36	\$134,640.00
9-15	Interior finishing	18%	\$186.34	\$113,851.40
16-22	Services	9%	\$91.64	\$55,990.00
23-24	External works and sundries	12%	\$124.36	\$75,981.33
25-27	Preliminaries, Margins, Contingencies	28%	\$284.37	\$173,749.03
28	Other development costs	0%	\$0.00	\$0.00
	TOTAL EXCLUDING GST	100%	\$1,025.35	\$626,490.33

We assess risk to this project as follows:

Medium – a contingency percentage of **10%** for design and construction contingency is appropriate.

Particular areas of risk are:

- No structural design provided
- No fire report provided
- Detailed design and specification not complete

3 Scope

3.1 Site

The site is a relatively level lot in Renwick, Marlborough. Access is good.

Provided documents show the building built across a boundary. No costs associated with the boundary position are included in the estimate.

No site visit has been carried out by Q Squared.

3.2 Documents

The estimate is based upon a developed design drawing set which is **attached** at appendix 6.2.

The provided documents fulfil the description criteria of the New Zealand BIM Handbook, Level of Development **200**. This number describes the amount of detail provided in the documents. Refer to the schedule **attached** at appendix 6.3. The accuracy of the estimate related directly to the level of development.

3.3 Assumptions and limitations

The estimate is based upon the following assumptions and limitations:

- 3.3.1 It is important to note that the documents are not detailed and as such the estimate does not measure every component required to complete the works. The estimate should be used as a guide only as it can only be as accurate as the documents it is based upon. We recommend that a further estimate be carried out upon completion of detailed design.
- 3.3.2 We assume the contract will be a standard form of New Zealand construction, such as New Zealand Institute of Architects form or NZS 3910:2013.
- 3.3.3 We assume the method of procurement will be a competitive tender. Other methods have benefits, but the cost to construct may differ.
- 3.3.4 No inclusion for any inflation or cost escalation.
- 3.3.5 No inclusion for the cost of removing any hazardous materials, such as asbestos unless noted. There are significant costs in dealing with some products.
- 3.3.6 No inclusion for any furniture of loose fittings.
- 3.3.7 No inclusion for any professional fees.
- 3.3.8 No inclusion for any council levies or consent costs.

3.4 Description of the works

The works are set out in the documents in section 3.2 above. They may be broadly described as follows:

- 3.4.1 Establish on site
- 3.4.2 Scaffold exterior of building
- 3.4.3 Remove asbestos cladding in accordance with Worksafe requirements
- 3.4.4 Demolish north wall and rebuild
- 3.4.5 Install new cladding, paint existing roofing and cladding
- 3.4.6 Construct new deck, accessible ramp and canopy
- 3.4.7 Install new commercial aluminium doors and windows to north wall and clerestory in hall
- 3.4.8 Install new linings to clerestory in hall, install Autex cube acoustic linings to hall
- 3.4.9 Remove and replace plasterboard linings to kitchen, committee, and toilets
- 3.4.10 Install new ceiling to foyer, repaint ceilings to kitchen, supper, committee, toilets and foyer

- 3.4.11 Replace kitchen joinery and appliances
- 3.4.12 Replace plumbing fixtures
- 3.4.13 Install new extract and heating as shown
- 3.4.14 Upgrade lighting to kitchen, supper, committee, toilets and foyer
- 3.4.15 Amend fire alarm system as required
- 3.4.16 Complete selected landscaping works
- 3.4.17 All preliminary and general costs required to undertake the works

3.5 Construction Period

As a broad estimate, the contract works should be able to be completed in a period of 6 months. We understand that Stage I works have not been carried out so there will obviously be some dovetailing with that project.

Q Squared certainly recommend carrying out the stage I and stage II works concurrently.

3.6 Market conditions

The site is in Marlborough.

New Zealand is currently experiencing a significant boom in the construction sector. This most often leads to an escalation in margins and reflects in an overall higher build cost. Anecdotally, some projects are having reduced interest from contractors, which also has an escalating factor on price.

The contractors' margins and preliminary costs are the figures most affected by market forces. The estimate has these rates set in a mid-range, but a motivated contractor might provide a submission with lower rates.

4 Estimate

The estimate has been calculated by using the format set out in the "Elemental Analysis of Costs of Building Projects", 5th Edition, January 2017, by the New Zealand Institute of Quantity Surveyors. The elemental format groups certain components together by their function into elements and sub elements. It is helpful for estimating purposes because it allows the client to assess where particular costs are attributed.

4.1 Elemental summary

	Element	%	\$ / m2	Cost excluding GST
E1	Site preparation	6.0%	\$61.84	\$37,783.06
E2	Substructure	0.0%	\$0.00	\$0.00
E3	Frame	4.6%	\$47.18	\$28,825.50
E4	Structural walls	0.9%	\$9.28	\$5,670.00
E5	Upper Floors	0.0%	\$0.00	\$0.00
E6	Roof	7.8%	\$79.92	\$48,830.00
E7	Exterior walls and exterior finish	10.3%	\$105.32	\$64,350.00
E8	Windows and exterior doors	3.4%	\$35.12	\$21,460.00
E9	Stairs and balustrades	0.0%	\$0.00	\$0.00
E10	Interior walls	1.7%	\$17.68	\$10,800.00
E11	Interior doors	1.5%	\$15.48	\$9,460.00
E12	Floor finishes	2.4%	\$24.63	\$15,046.00
E13	Wall finishes	4.8%	\$48.78	\$29,807.40
E14	Ceiling finishes	1.6%	\$16.27	\$9,938.00
E15	Fittings and fixtures	6.2%	\$63.50	\$38,800.00
E16	Sanitary plumbing	4.0%	\$41.08	\$25,100.00
E17	Heating and ventilation services	1.4%	\$14.32	\$8,750.00
E18	Fire services	0.6%	\$6.55	\$4,000.00
E19	Electrical services	2.6%	\$26.50	\$16,190.00
E20	Vertical and horizontal transportation	0.0%	\$0.00	\$0.00
E21	Special services	0.0%	\$0.00	\$0.00
E22	Drainage	0.3%	\$3.19	\$1,950.00
E23	External works	12.1%	\$124.36	\$75,981.33
E24	Sundries	0.0%	\$0.00	\$0.00
E25	Preliminaries	10.4%	\$106.41	\$65,019.30
	Subtotal		\$847.40	\$517,760.60
E26	Margins	8.3%	\$84.74	\$51,776.06
E27	Contract contingencies	9.1%	\$93.21	\$56,953.67
E28	Other development costs	0.0%	\$0.00	\$0.00
	TOTAL EXCLUDING GST	100%	\$1,025.35	\$626,490.33

4.2 Schedule

A detailed schedule is **attached** at appendix 6.1.

The detailed schedule describes the scope of works in more detail. It is not sufficient to instruct a contractor in the works, as no detailed design has been completed.

5 Limitations

This report has been prepared solely for the benefit of the client as per our brief and agreed conditions of engagement. The reliance by any other parties on the information or opinions contained in this report shall, without our prior agreement in writing, be at such parties' sole risk. Q Squared Limited disclaims all responsibility and accept no liability to any other party.

The conclusions and estimates contained within this report are based on the documents and other factors as described in detail above. The report may not disclose all relevant information and it may rely on information provided by others. Where information is provided by others, or inspections are carried out by others, we accept no responsibility for the accuracy of that information.

Q Squared limited make no representation to soundness, compliance with any terms, plans, specifications, statutory requirements, or safety relating to the proposed work unless specifically stated. The report does not cover land, sales, or market valuations.

6 Appendices

6.1 Schedule

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E1	Site preparation				
#	Description	Meas	Unit	Rate	Cost
	Internal demolition				
	Remove hardware and miscellaneous fixtures	1	Sum	880.00	\$ 880.00
	Remove and dispose joinery	1	Sum	1,330.00	\$ 1,330.00
	Remove and dispose internal door	15	No	37.50	\$ 562.50
	Remove and dispose sanitary fixture	11	No	75.00	\$ 825.00
	Remove and dispose urinal	1	Sum	980.00	\$ 980.00
	Remove and dispose wall linings	261	m2	16.00	\$ 4,176.00
	Remove existing floor coverings and grind floor	177	m2	23.00	\$ 4,071.00
	Prop as required and demolish wall	56	m2	37.50	\$ 2,081.81
	Subtotal			14,906.31	
	External demolition				
	Remove and dispose asbestos cladding	182	m2	110.00	\$ 20,020.00
	Remove and dispose cladding and joinery to north elevation	69	m2	27.00	\$ 1,863.00
	Remove and dispose gutters and downpipes	133	m	7.50	\$ 993.75
	Subtotal			22,876.75	
	ELEMENT TOTAL EXCLUDING GST				\$ 37,783.06

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E2	Substructure				
#	Description	Meas	Unit	Rate	Cost
	Not applicable				
	ELEMENT TOTAL EXCLUDING GST				\$ -

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E3	Frame				
#	Description	Meas	Unit	Rate	Cost
Canopy structure					
	Steel SHS post including connections and epoxy paint finish	10	No	665.40	\$ 6,654.00
	Steel beam perimeter	48	m	168.00	\$ 8,064.00
	Timber roof structure consisting of beams connected to steel, purlins, bracing and all structural connections	90	m2	156.75	\$ 14,107.50
	ELEMENT TOTAL EXCLUDING GST				\$ 28,825.50

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E4	Structural walls				
#	Description	Meas	Unit	Rate	Cost
	Timber frame wall including lintels and all structural connections	63	m2	90.00	\$ 5,670.00
	ELEMENT TOTAL EXCLUDING GST				\$ 5,670.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E5	Upper floors				
#	Description	Meas	Unit	Rate	Cost
	Not applicable				
	ELEMENT TOTAL EXCLUDING GST				\$ -

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E6	Roof				
#	Description	Meas	Unit	Rate	Cost
	Profiled metal roof to canopy including all flashings	90	m2	65.00	\$ 5,850.00
	Timber fascia to new canopy including paint	54	m	40.00	\$ 2,160.00
	Fibre cement soffit including support battens and paint	90	m2	75.00	\$ 6,750.00
	Repaint existing roof	700	m2	35.00	\$ 24,500.00
	Paint fascia	170	m	15.00	\$ 2,550.00
	Install new box gutter	116	m	45.00	\$ 5,220.00
	Install new downpipe	12	No	150.00	\$ 1,800.00
	ELEMENT TOTAL EXCLUDING GST				\$ 48,830.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E7	Exterior walls and exterior finish				
#	Description	Meas	Unit	Rate	Cost
	New vertical corrugated Colorsteel cladding system, direct fixed to timber frame	154	m2	120.00	\$ 18,480.00
	New Heritage Tray Colorsteel cladding system on a drained cavity	141	m2	265.00	\$ 37,365.00
	Repaint existing metal and timber cladding	243	m2	35.00	\$ 8,505.00
	ELEMENT TOTAL EXCLUDING GST				\$ 64,350.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E8	Windows and exterior doors				
#	Description	Meas	Unit	Rate	Cost
	New commercial doors and windows at ground level	28	m2	650.00	\$ 17,940.00
	New high level windows including actuators	6	m2	550.00	\$ 3,520.00
	ELEMENT TOTAL EXCLUDING GST				\$ 21,460.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E9	Stairs and balustrades				
#	Description	Meas	Unit	Rate	Cost
	Not applicable				
	ELEMENT TOTAL EXCLUDING GST				\$ -

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E10	Interior walls				
#	Description	Meas	Unit	Rate	Cost
	Toilet partition cubicle	6	No	1800.00	\$ 10,800.00
	ELEMENT TOTAL EXCLUDING GST				\$ 10,800.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E11	Interior doors				
#	Description	Meas	Unit	Rate	Cost
	New solid core door including hardware and paint	8	No	732.50	\$ 5,860.00
	Paint existing door and replace hardware	9	No	400.00	\$ 3,600.00
	ELEMENT TOTAL EXCLUDING GST				\$ 9,460.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E12	Floor finishes				
#	Description	Meas	Unit	Rate	Cost
	Install new commercial vinyl	69	m2	82.50	\$ 5,692.50
	Vinyl cove and cap	97	m	26.00	\$ 2,522.00
	Autex Decord	43	m2	62.00	\$ 2,666.00
	Selected carpet tile	64	m2	60.00	\$ 3,840.00
	Extra value for pattern laying in entry	31	m2	10.50	\$ 325.50
	ELEMENT TOTAL EXCLUDING GST				\$ 15,046.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E13	Wall finishes				
#	Description	Meas	Unit	Rate	Cost
	Make good where walls altered	1	Sum	1000.00	\$ 1,000.00
	Standard 13 mm plasterboard wall linings including stopping and paint	76	m2	48.00	\$ 3,648.00
	Ditto to new high level clerestory wall in hall	53	m2	65.50	\$ 3,471.50
	Aqualine 13 mm wall linings to toilets and kitchen including stopping and paint	185	m2	59.50	\$ 11,007.50
	Make good and repaint walls in general areas	110	m2	18.00	\$ 1,980.00
	R2.8 W insulation to committee room	46	m2	24.25	\$ 1,115.50
	New skirting including paint	31	m	27.90	\$ 864.90
	Autex Cube panel to hall	56	m2	120.00	\$ 6,720.00
	ELEMENT TOTAL EXCLUDING GST				\$ 29,807.40

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E14	Ceiling finishes				
#	Description	Meas	Unit	Rate	Cost
	New decorative ceiling to entry	47	m2	140.00	\$ 6,580.00
	Make good and repaint ceiling	146	m2	23.00	\$ 3,358.00
	ELEMENT TOTAL EXCLUDING GST				\$ 9,938.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E15	Fittings and fixtures				
#	Description	Meas	Unit	Rate	Cost
	Laminate cupboards and bench to kitchen	15	m	1000.00	\$ 15,000.00
	Dishwasher	2	No	1650.00	\$ 3,300.00
	Electric oven	2	No	1575.00	\$ 3,150.00
	Fridge	2	No	1200.00	\$ 2,400.00
	Microwave	2	No	350.00	\$ 700.00
	Pie warmer	2	No	750.00	\$ 1,500.00
	Hot water boiler	1	No	5000.00	\$ 5,000.00
	Standalone kitchen unit to committee room	1	Sum	3500.00	\$ 3,500.00
	Accessible hardware	1	Sum	1500.00	\$ 1,500.00
	Bathroom mirror	5	No	350.00	\$ 1,750.00
	Compliance signage	1	Sum	1000.00	\$ 1,000.00
	No allowance for any window dressings				
	ELEMENT TOTAL EXCLUDING GST				\$ 38,800.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E16	Sanitary plumbing				
#	Description	Meas	Unit	Rate	Cost
	<i>Rates include tapware and fitting</i>				
	Accessible toilet suite	1	No	1255.00	\$ 1,255.00
	Toilet suite	6	No	755.00	\$ 4,530.00
	Wall hung urinal	2	No	1320.00	\$ 2,640.00
	Sensor cistern	1	No	2195.00	\$ 2,195.00
	Wash hand basin	2	No	1580.00	\$ 3,160.00
	Vanity basin	4	No	1580.00	\$ 6,320.00
	Vanity bench	2	No	1420.00	\$ 2,840.00
	Kitchen sink	2	No	1080.00	\$ 2,160.00
	ELEMENT TOTAL EXCLUDING GST				\$ 25,100.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E17	Heating and ventilation services				
#	Description	Meas	Unit	Rate	Cost
	New wall mounted heat pump	1	Sum	3500.00	\$ 3,500.00
	Range hood	2	No	1200.00	\$ 2,400.00
	New extract system for toilets	1	Sum	2850.00	\$ 2,850.00
	ELEMENT TOTAL EXCLUDING GST				\$ 8,750.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E18	Fire Services				
#	Description	Meas	Unit	Rate	Cost
	Amend existing fire alarm system	1	Sum	4000.00	\$ 4,000.00
	ELEMENT TOTAL EXCLUDING GST				\$ 4,000.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E19	Electrical services				
#	Description	Meas	Unit	Rate	Cost
	Install new light fittings on existing circuits	178	m2	55.00	\$ 9,790.00
	Amend and add general power and appliance outlets	1	Sum	6400.00	\$ 6,400.00
	ELEMENT TOTAL EXCLUDING GST				\$ 16,190.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E20	Vertical and horizontal transportation				
#	Description	Meas	Unit	Rate	Cost
	Not applicable				\$ -
	ELEMENT TOTAL EXCLUDING GST				\$ -

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E21	Special services				
#	Description	Meas	Unit	Rate	Cost
	Not applicable				
	ELEMENT TOTAL EXCLUDING GST				\$ -

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E22	Drainage				
#	Description	Meas	Unit	Rate	Cost
	Connect new canopy downpipe	1	Sum	1950.00	\$ 1,950.00
	ELEMENT TOTAL EXCLUDING GST				\$ 1,950.00

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E23	External works				
#	Description	Meas	Unit	Rate	Cost
	Hardwood timber deck including piles, bearers, joists and all structural connections	80	m2	315.00	\$ 25,200.00
	Hardwood timber steps	6	m2	518.00	\$ 3,108.00
	Concrete ramp	14	m2	426.67	\$ 5,973.33
	Galvanised metal handrail with low and midrail	30	m	350.00	\$ 10,500.00
	Planter box wall	32	m2	350.00	\$ 11,200.00
	General sum for paving and planting works	1	Sum	20000.00	\$ 20,000.00
	ELEMENT TOTAL EXCLUDING GST				\$ 75,981.33

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E24	Sundries				
#	Description	Meas	Unit	Rate	Cost
	Not applicable				
	ELEMENT TOTAL EXCLUDING GST				\$ -

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E25	Preliminaries				
#	Description	Meas	Unit	Rate	Cost
	General main contractor costs related to carrying out the work, calculated as a percentage of the contract value	8%		452,741.30	\$ 36,219.30
	Scaffolding	800.00	m2	36.00	\$ 28,800.00
	ELEMENT TOTAL EXCLUDING GST				\$ 65,019.30

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E26	Margins				
#	Description	Meas	Unit	Rate	Cost
	Costs to cover main contractor's overheads and profit, calculated as a percentage of the contract value	10%		517,760.60	\$ 51,776.06
	ELEMENT TOTAL EXCLUDING GST				\$ 51,776.06

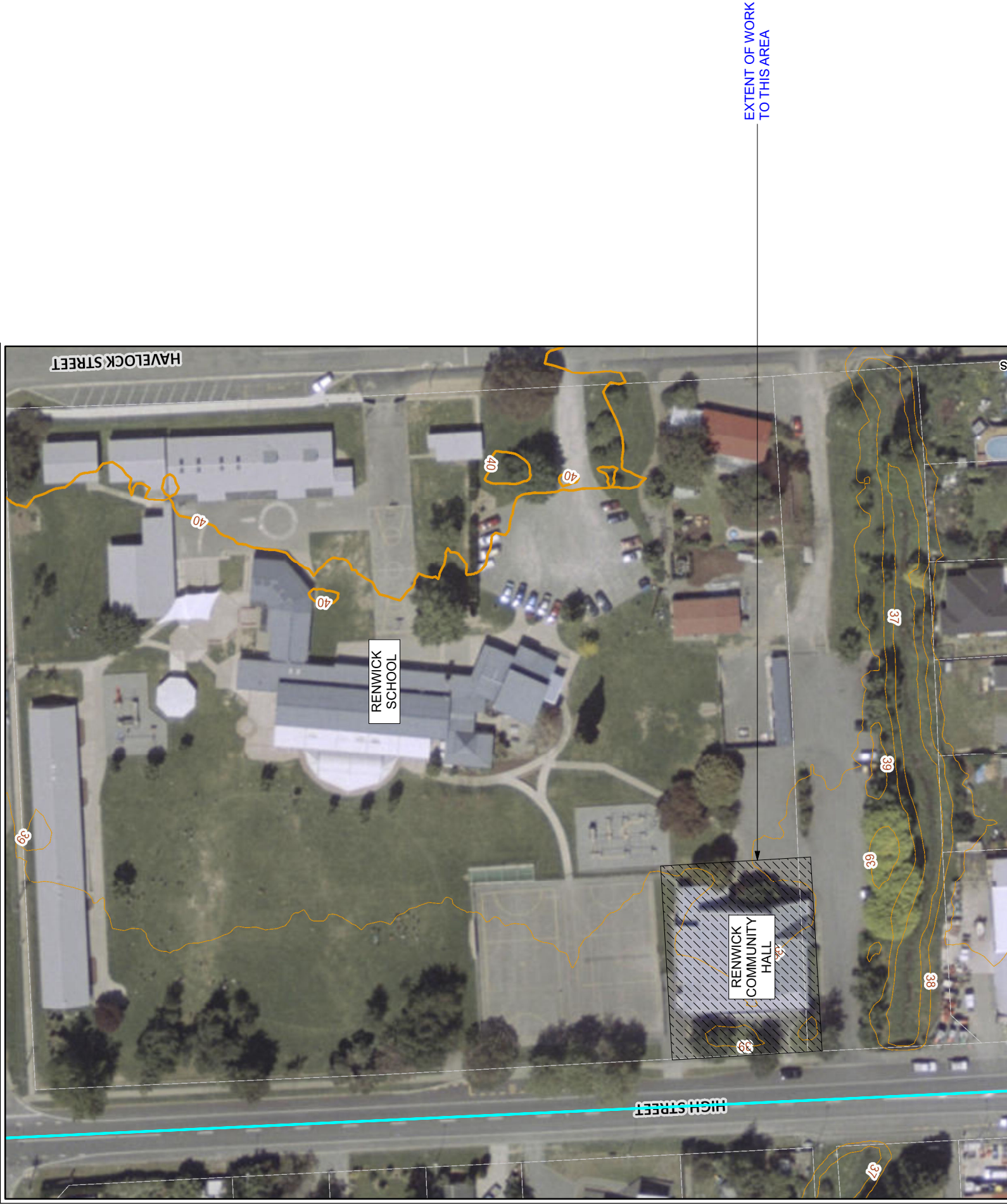
18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E27	Contract Contingencies				
#	Description	Meas	Unit	Rate	Cost
	Estimating contingency to cover items not yet discovered or detailed, calculated as a percentage of the contract value	10%		569,536.66	\$ 56,953.67
	ELEMENT TOTAL EXCLUDING GST				\$ 56,953.67

18032 - 27 HIGH ST - RENWICK COMMUNITY HALL UPGRADE - REDBOX					
ELEMENTAL ESTIMATE					
10/05/2018					
E28	Other development costs				
#	Description	Meas	Unit	Rate	Cost
	By Architect				
	ELEMENT TOTAL EXCLUDING GST				\$ -

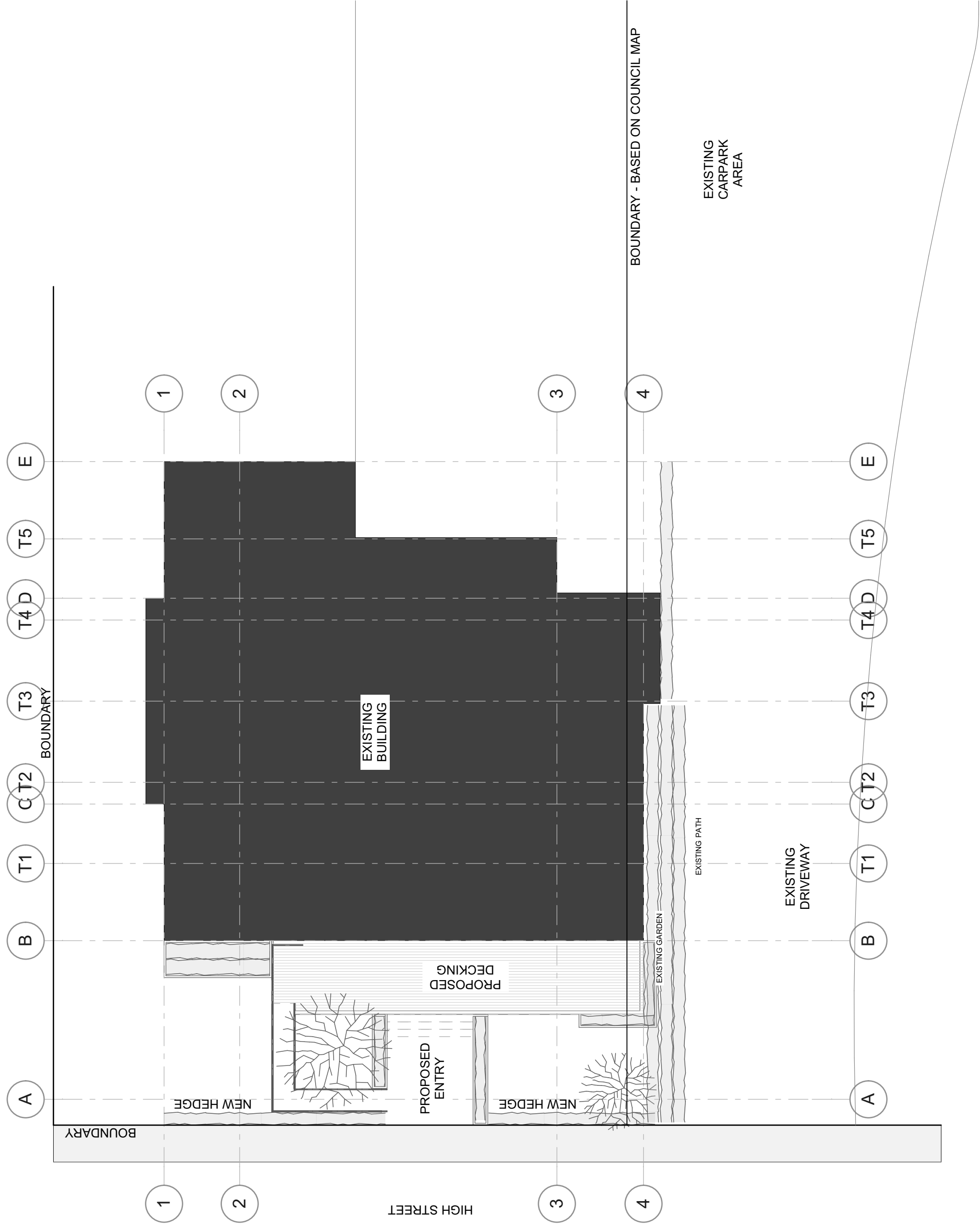
6.2 Documents

DRAWING SCHEDULE

DD 01	Drawing Schedule, Site and Location Plan
DD 02	Existing Floor Plan
DD 03	Proposed Floor Plan
DD 04	Existing Elevations
DD 05	Proposed Elevations
DD 06	Proposed Entrance Section
DD 07	Exterior Perspectives
DD 08	Interior Finishes Plan
DD 09	Lighting & Reflected Ceiling Plan
DD 10	Mechanical Plan
DD 11	Hall Interior Elevations



site notes:	High Street Renwick Pt Sec 163 Wairau District
Location	
Legal Description	
site key:	existing building outline
gross floor areas:	
EXISTING FLOOR AREA	611.42 m²
scope of alterations	
	<ul style="list-style-type: none"> - PAINT EXTERIOR AND INTERIOR. - REFIT TOILETS. - KITCHEN NEW DWX2. APPLIANCES AND JOINERY. - UPPER LEVEL WINDOWS. - FLOOR COVERINGS. - HEAT PUMP TO COMMITTEE ROOM. - EXTRACT FANS TO CHANGE ROOMS. - NEW HIGH LEVEL PINBOARD IN HALL.



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Renwick Community
Memorial Hall Trust

Drawing Schedule, Site and Location Plan

at High Street, Renwick
issued 03-Apr-18
scale @ A1 1:200
project ID # 12-24
drawing DD 01.
do not scale from drawings. confirm all
dimensions on site, confirm any discrepancies
with the architect prior to construction.

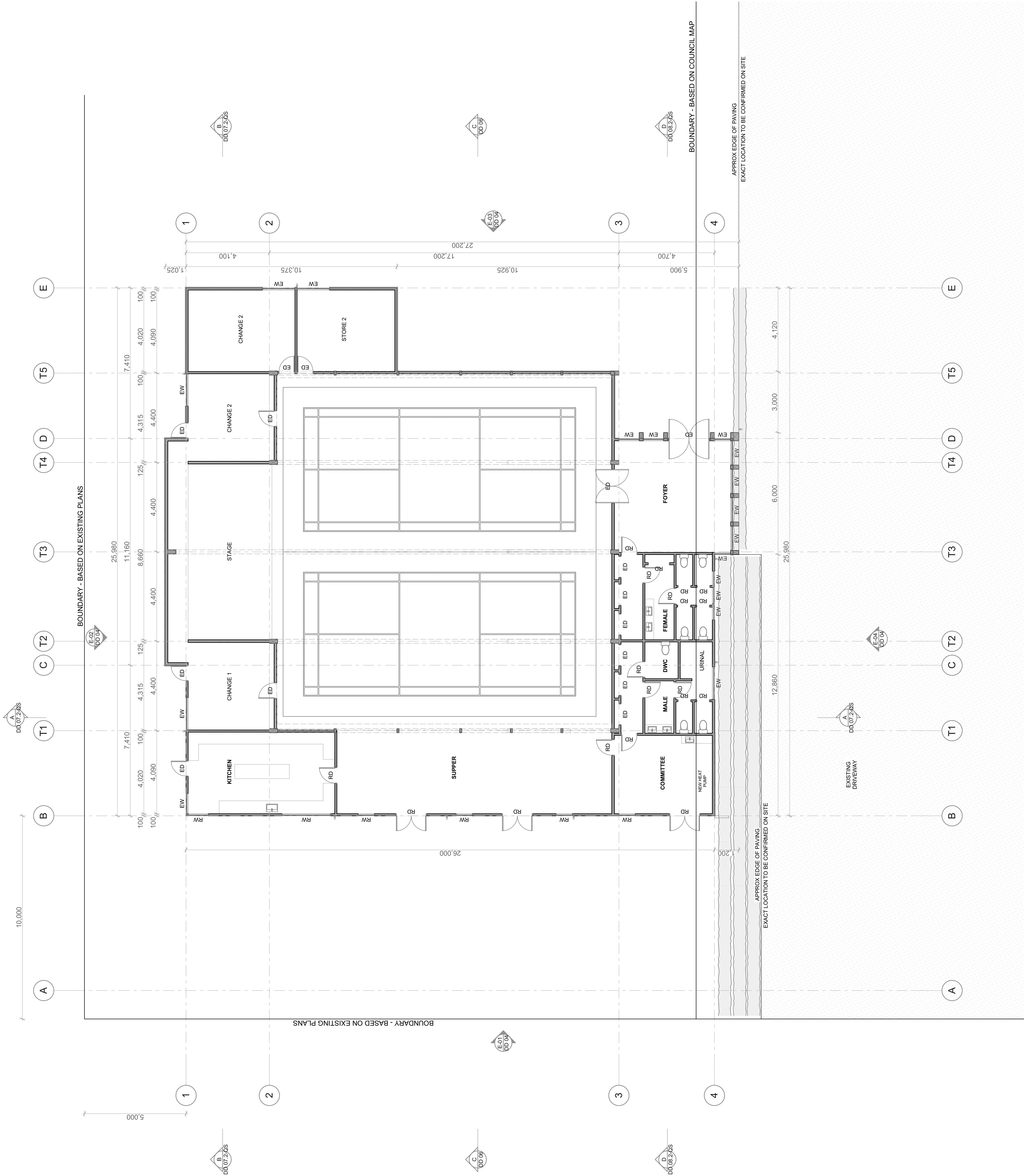
demolition notes & key:	
	existing walls
	EW existing window to remain
	ED existing door to remain
	RW remove window
	RD remove door



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Renwick Community
Memorial Hall Trust

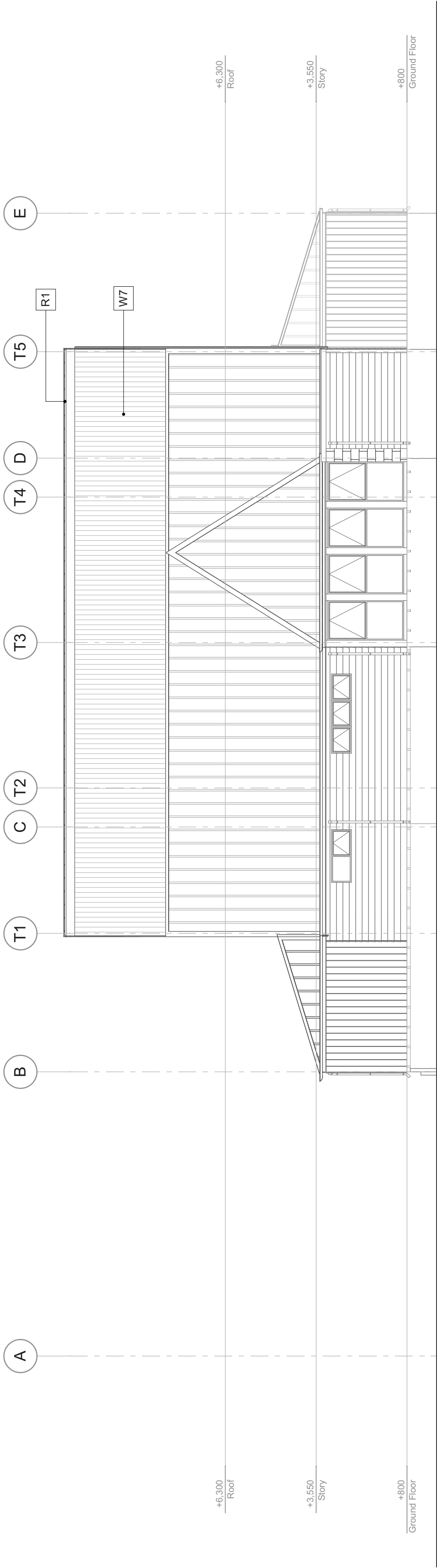
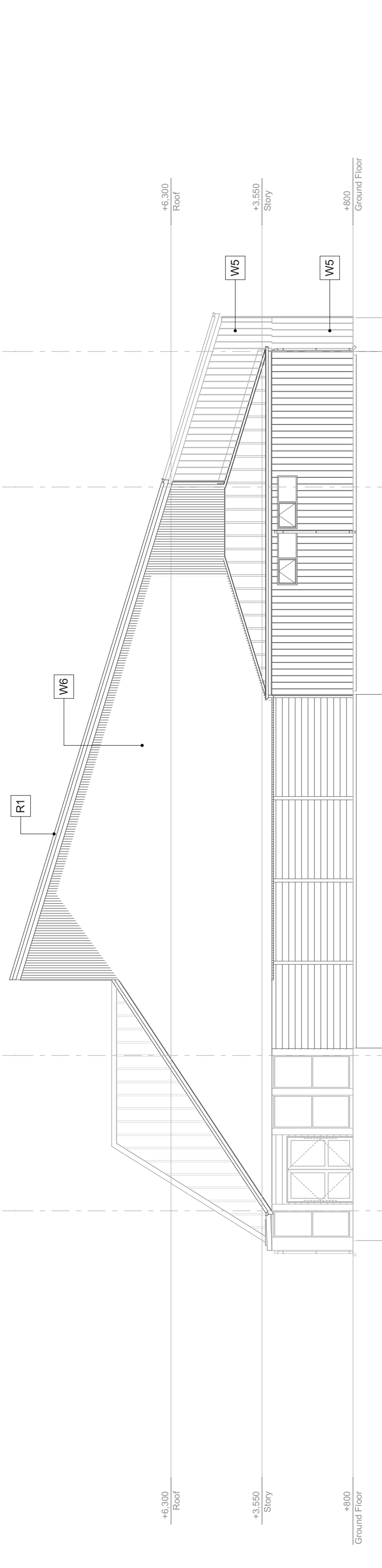
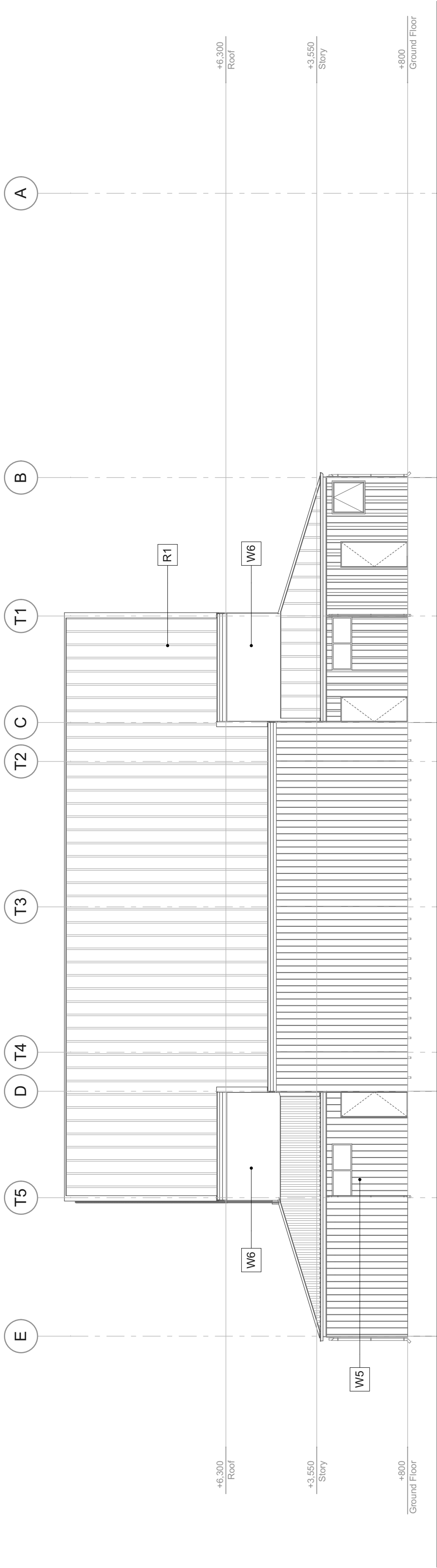
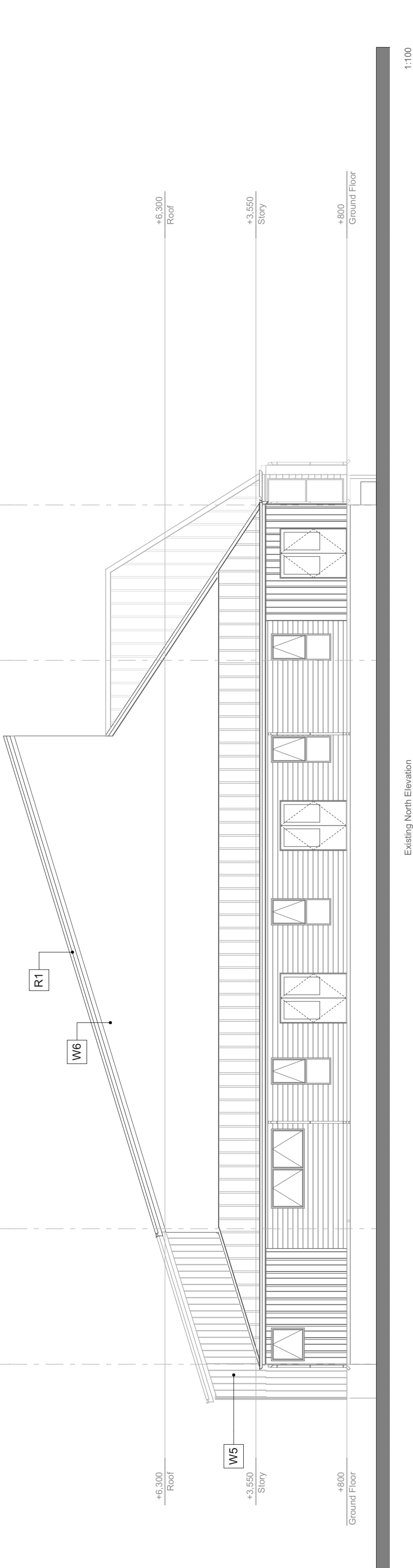
Existing Floor Plan	
at	High Street, Renwick
issued	03-Apr-18
scale @ A1	1:100
project ID	#12-24
drawing	DD 02.
do not scale from drawings. confirm all dimensions on site. confirm any discrepancies with the architect prior to construction.	



Existing Floor Plan

1:100

elevation key & notes:	
W1	New colorsteel vertical corrugate cladding.
W2	New colorsteel heritage fray cladding system.
W3	New black wall. Plaster finish.
W4	New flushglaze system.
W5	Existing Galvanised cladding
W6	Existing Asbestos cladding to be removed.
W7	Existing clearlite cladding to be removed.
R1	Existing galvanised longrun roofing to remain.
R2	New colorsteel firmline roofing. Selected colour.
scope exterior:	
- NEW ALUMINIUM DOUBLE GLAZED JOINERY AS INDICATED.	
- REMOVE ASBESTOS CLADDING.	
- NEW CLADDING AS INDICATED.	
- PAINT ALL UNFINISHED CLADDINGS AND ROOFING.	
- NEW BOX GUTTER SPOUTING AND DOWNPIPES.	

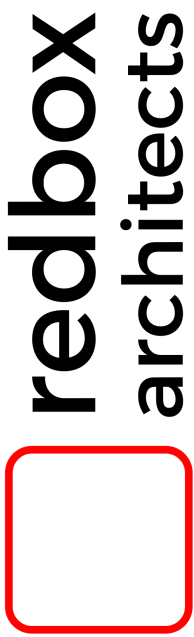
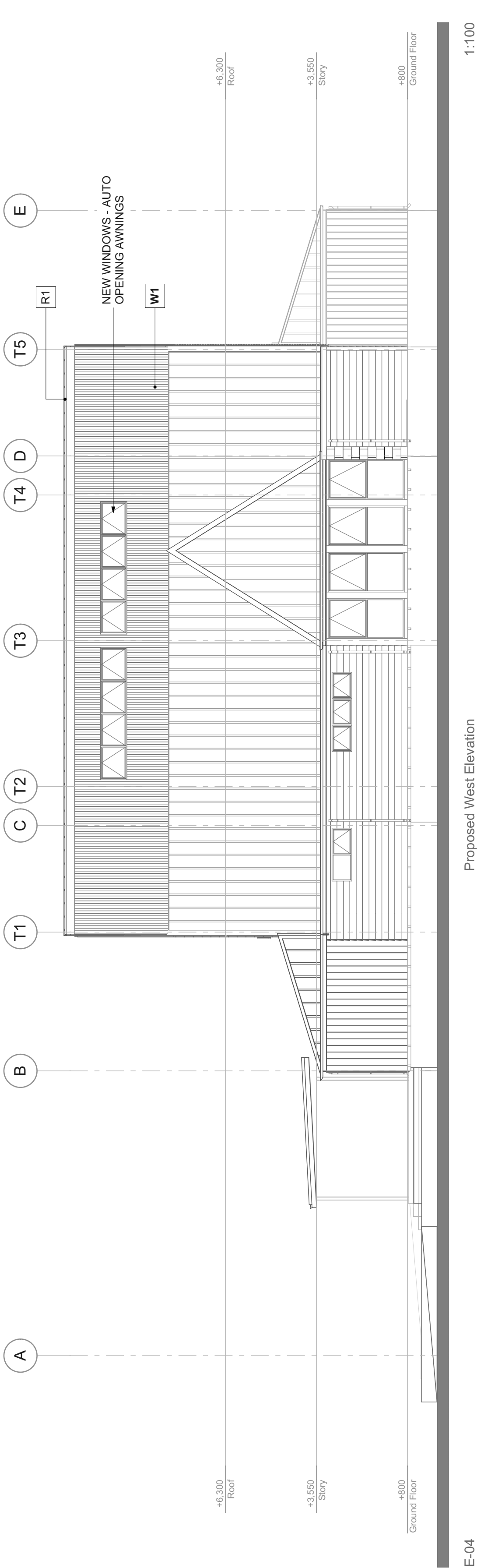
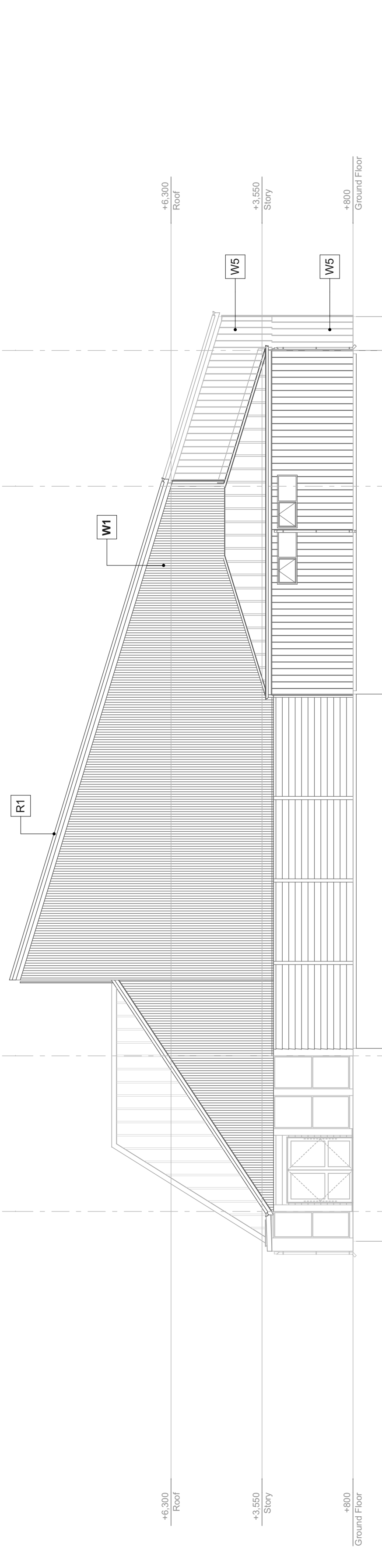
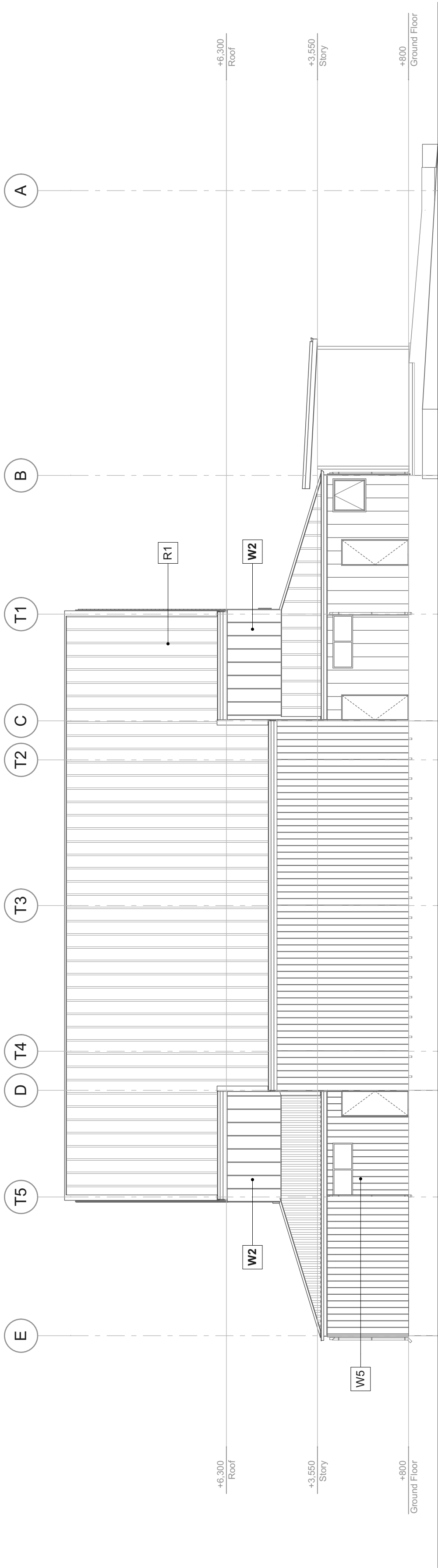
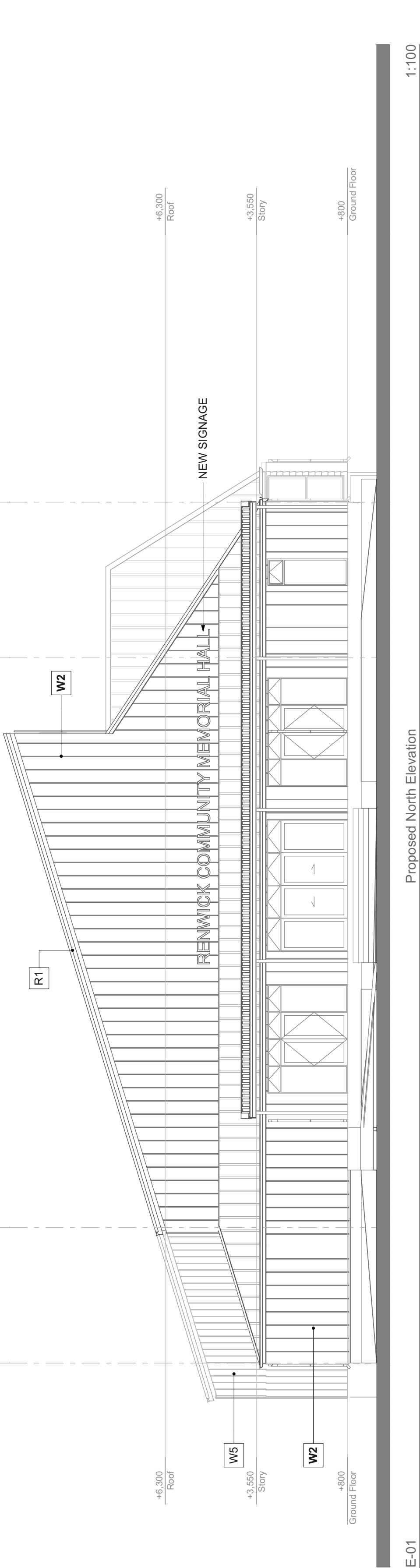


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Renwick Community Memorial Hall Trust

Existing Elevations	
at	High Street, Renwick
issued	03-Apr-18
scale @ A1	1:100
project ID	#12-24
drawing	DD 04.
do not scale from drawings. confirm all dimensions on site. confirm any discrepancies with the architect prior to construction.	

elevation key & notes:	
W1	New colorsteel vertical corrugate cladding.
W2	New colorsteel heritage fray cladding system.
W3	New black wall. Plaster finish.
W4	New flushglaze system.
W5	Existing Galvanised cladding
W6	Existing Asbestos cladding to be removed.
W7	Existing clearlite cladding to be removed.
R1	Existing galvanised longrun roofing to remain.
R2	New colorsteel firmline roofing. Selected colour.
scope exterior:	
- NEW ALUMINIUM DOUBLE GLAZED JOINERY AS INDICATED.	
- REMOVE ASBESTOS CLADDING.	
- NEW CLADDING AS INDICATED.	
- PAINT ALL UNFINISHED CLADDINGS AND ROOFING.	
- NEW BOX GUTTER SPOUTING AND DOWNPIPES.	

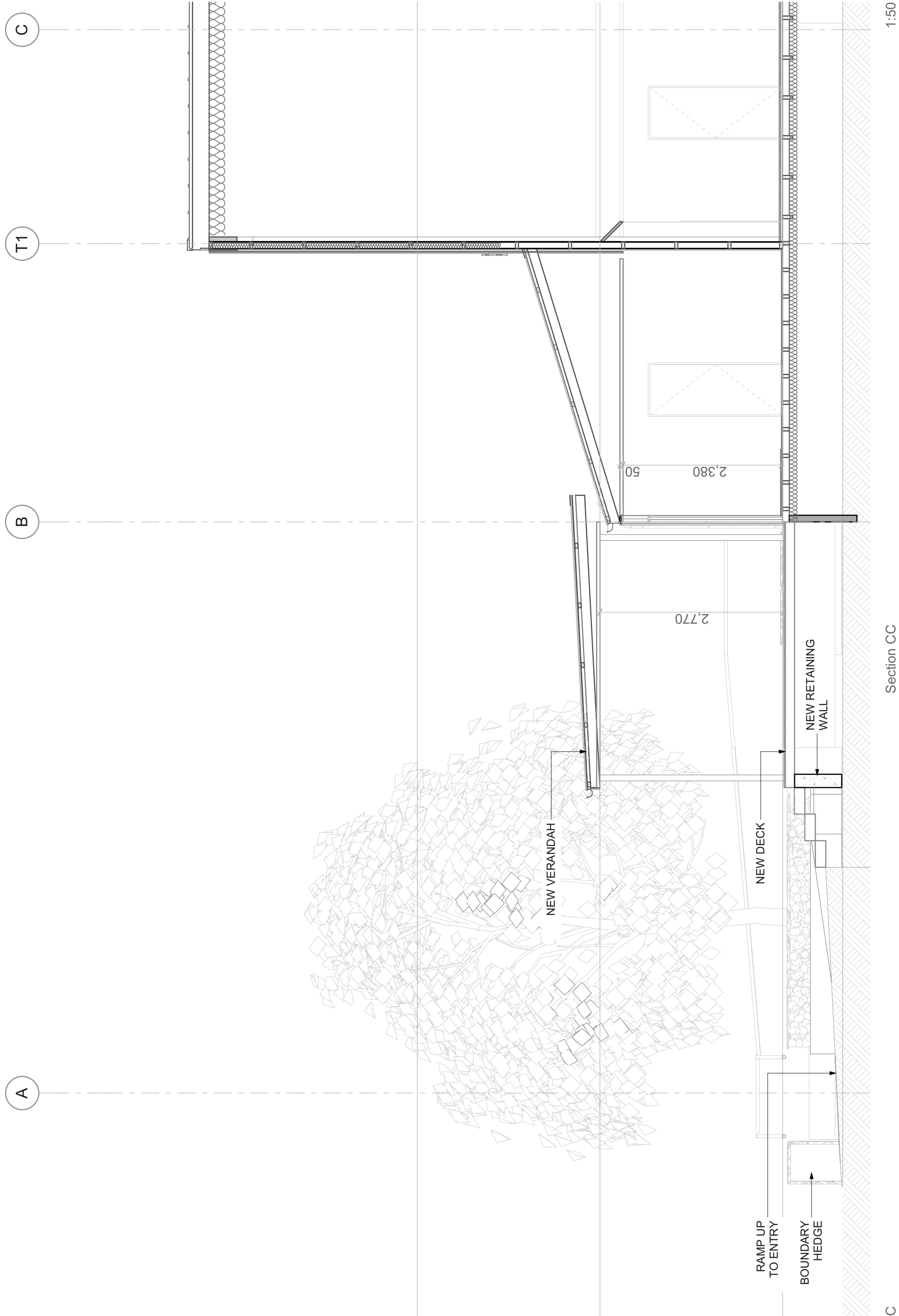


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Proposed Elevations	
at	High Street, Renwick
issued	03-Apr-18
scale @ A1	1:100
project ID	#12-24
drawing	DD 05.
do not scale from drawings. confirm all dimensions on site. confirm any discrepancies with the architect prior to construction.	

new verandah:	- 100x45 POST AND BEAM FRAME
	- PAINT FINISH
	- 140x45 SG8 @ 900CRS ROOF FRAMING
	- TRIMLINE CLADDING
	- FIBRE CEMENT SOFFIT PAINT FINISH
new decking and steps:	- SELECTED HARDWOOD DECKING
	- 190x45 SG8 @ 400CRS DECK JOISTS
siteworks:	- CLEAR ALL EXISTING PATHS AND GRASS AREAS.
	- NEW TOPSOIL AND LAWN AS INDICATED. FILL TO 500 BELOW PROPOSED DECK LEVEL
	- NEW CONCRETE ACCESSIBLE RAMP AND SS 38 OD HANDRAILS BOTH SIDES
	- NEW PLASTERED BLOCK PLANTERS PAINT FINISH.
	- 2 X NEW FEATURE TREES - UPLIGHTING.
	- NEW PAVERS TO PEDESTRIAN PATH.
	- HEDGE PLANTING AND BARK GROUND COVER.



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Proposed Entrance Section

at	High Street, Renwick
issued	03-Apr-18
scale @ A1	1:50
project ID	#12-24
drawing	DD 06.

do not scale from drawings. confirm all dimensions on site. confirm any discrepancies with the architect prior to construction.



STREET VIEW OF MAIN ENTRY



PERSPECTIVE OF MAIN ENTRY



VIEW OF FRONT



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Exterior Perspectives

at	High Street, Renwick
issued	03-Apr-18
scale	@ A1
project ID	#12-24
drawing	DD 07.
do not scale from drawings. confirm all dimensions on site. confirm any discrepancies with the architect prior to construction.	

floor finishes key:

500x500 selected Inzide carpet tiles

selected Inzide feature carpet planks

selected Autex Decord matting

selected vinyl

note:

ALLOW PC SUM FOR:
- VINYL \$55m²
- CARPET \$55m²

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Interior Finishes Plan	
at	High Street, Renwick
issued	03-Apr-18
scale @ A1	1:100
project ID	#12-24
drawing	DD 08
do not scale from drawings. confirm all dimensions on site. confirm any discrepancies with the architect prior to construction.	

Interior Finishes Plan 1:100

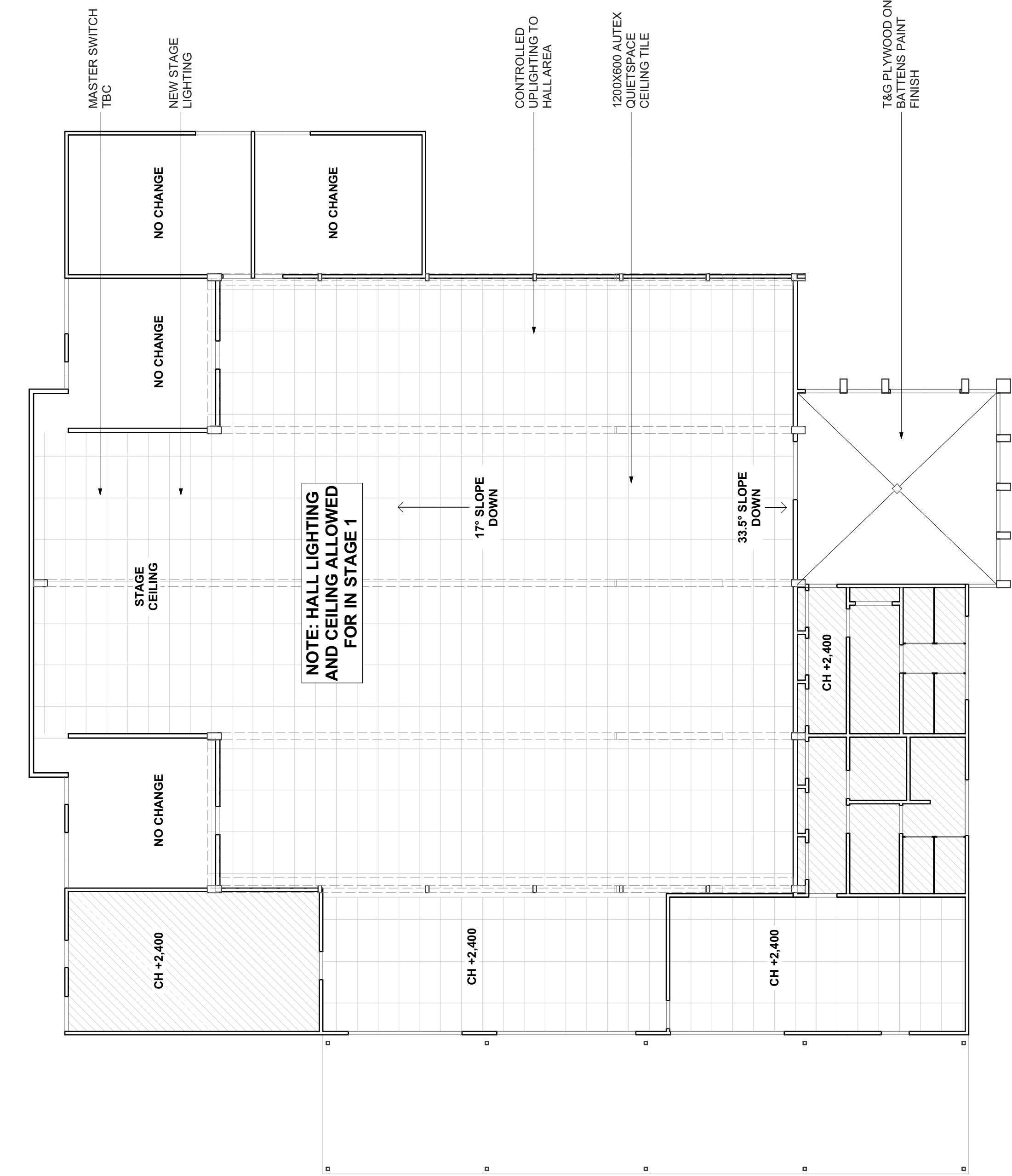
reflected ceiling key:

1200x600 Autex

Quiespace Ceiling tile,

square edge in Pure White

flat G18 aquadline ceiling



RCP & Lighting Plan

1:100



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W

P

Renwick Community

Memorial Hall Trust

Lighting & Reflected Ceiling Plan

at

issued

scale @ A1

project ID

drawing

High Street, Renwick

03-Apr-18

1:100

#12-24

DD 09

do not scale from drawings, confirm all dimensions on site, confirm any discrepancies with the architect prior to construction.

NOTES

1. Lighting calculations are based on grid lumens with a maintenance factor (LMF) as shown.

2. Room reflectance values are based on the manufacturer's data.

3. Reflected ceiling allowance has been included in the design.

4. All lighting is to be installed in accordance with the AS/NZS 1538.2:2008 (at maintained luminance).

PROJECT

Renwick Community Memorial Hall

Ground Floor Lighting Layout

Design : Robert Pinfold MIES

Scale : NTS Date: 2/04/2015

Design Reference : 9681

Rev # : A Page 2 of 4

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THORN Lighting (NZ) Ltd

289 Rossmore Road

PO Box 1118 Rossmore

Christchurch 8140

THORN

LIGHTING PEOPLE

ALLOW PC SUM \$5000 FOR ADDITIONAL FITTINGS NOT SHOWN TO REMAINING AREAS

Luminance Summary					
Label	CalcType	Units	Avg	Max	Min/Avg
Change Room 1 & 2, Workplane	Illuminance	Lux	119	185	0.68
Entry, Workplane	Lux	Lux	255.1	317	0.88
Hall Floor	Illuminance	Lux	460.65	587	0.48
Kitchen, Workplane	Lux	Lux	367.90	441	0.81
Main Entry & Waiting, Floor	Illuminance	Lux	381.40	527	0.63
Medical, Workplane	Illuminance	Lux	500.50	699	0.68
New Foyer, Floor	Illuminance	Lux	78.71	106	0.70
Office, Workplane	Illuminance	Lux	203.40	282	0.65
RSA Corridor, Workplane	Lux	Lux	482.93	649	0.75
RSA Meeting Room VC Lobby Floor	Illuminance	Lux	136.15	136	1.00
RSA Meeting Room VC Floor	Illuminance	Lux	105.75	112	0.94
Stage	Illuminance	Lux	403.05	542	0.51
Storage 1 Floor	Illuminance	Lux	246.67	280	0.89
Storage 2 Floor	Lux	Lux	160.94	194	0.95
Storage 3 Floor	Illuminance	Lux	164.26	196	0.88

Luminaire Schedule					
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LF
22	A	SINGLE	11500	0.750	CRAFT BWS LED 2000-940 L300 P
29	B	SINGLE	2800	0.760	COLLEGE LED 2800 HF PC CL L840
36	F	SINGLE	N/A	0.760	TROFFERPACK LED 21 Lx 840mm HF OPS 250m
19	G	SINGLE	1200	0.760	LEOPARD 1200 LED2 OP RD WH L840
7	H	SINGLE	1953	0.760	LEOPARD 1900 LED2 OP RD WH L840



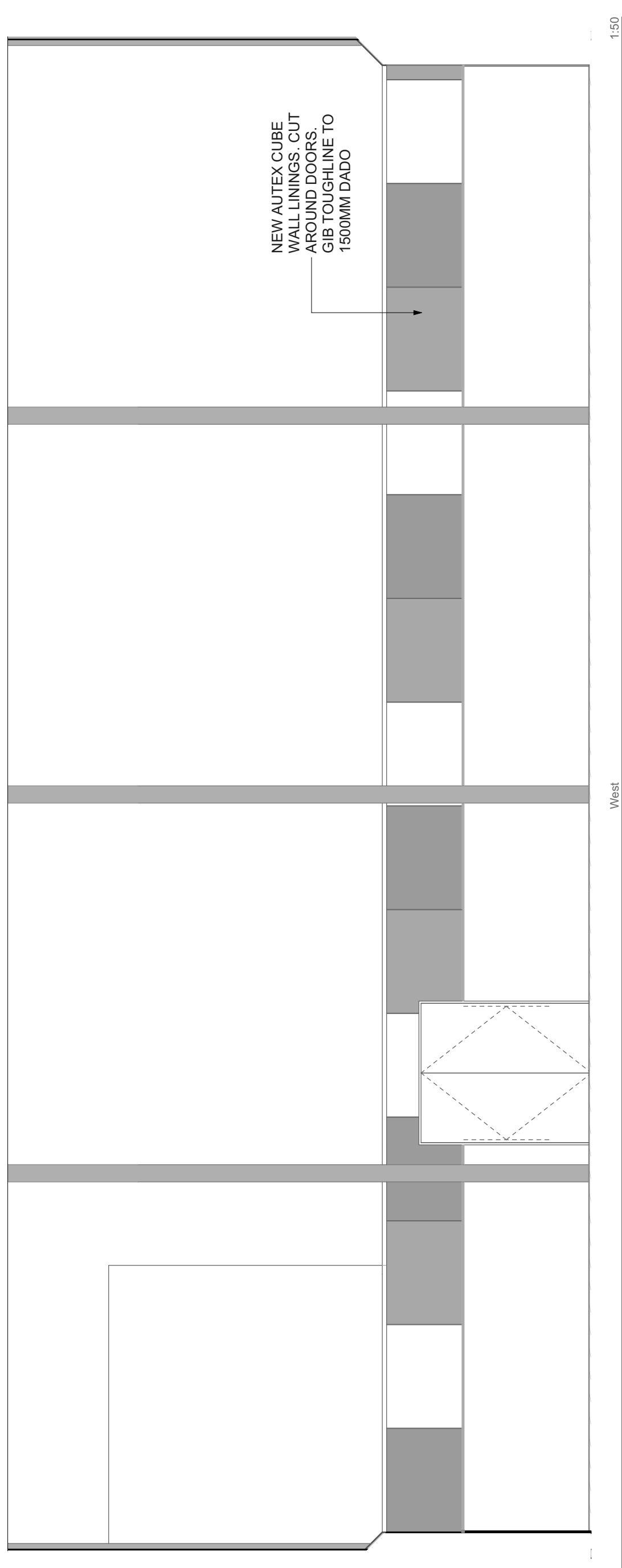
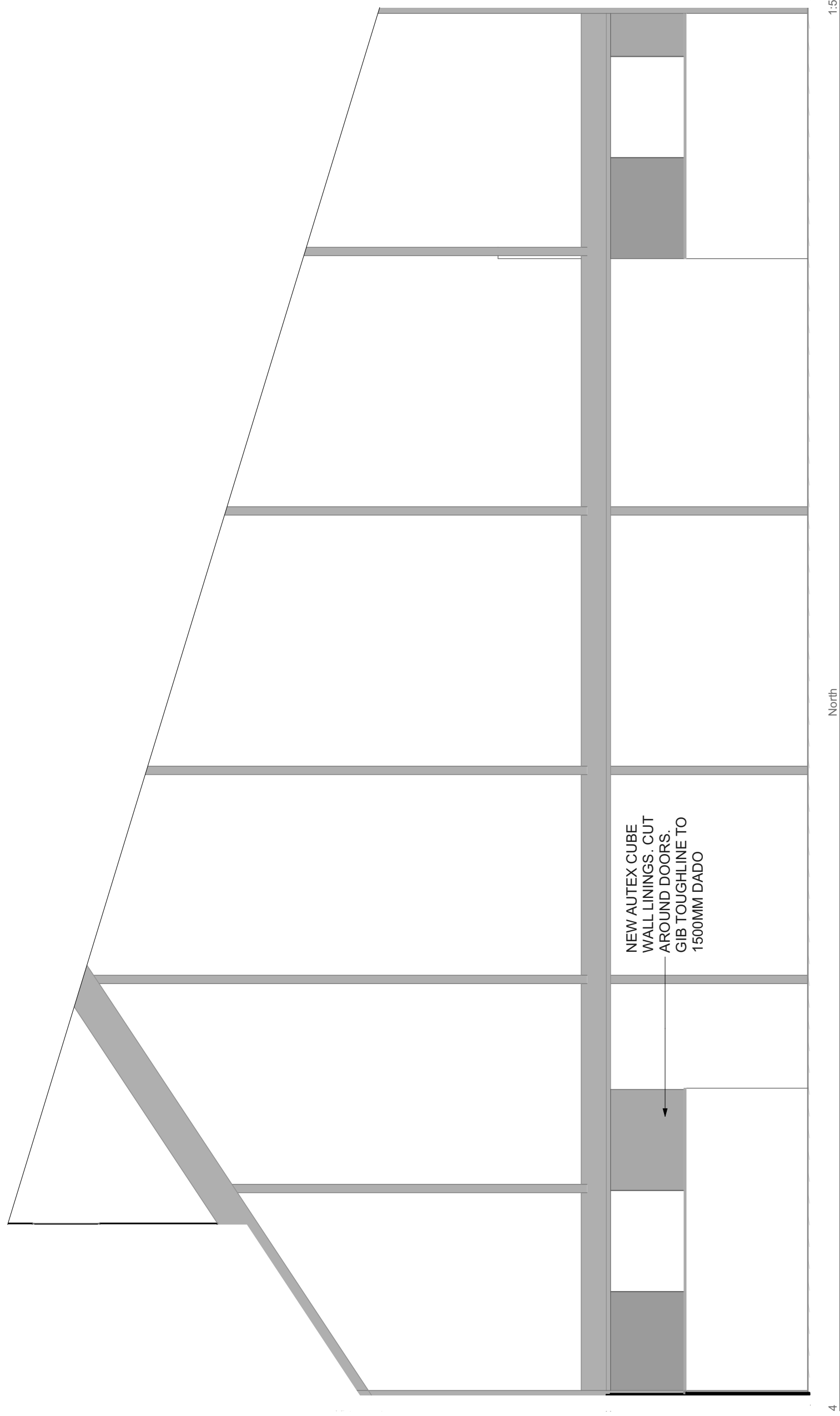
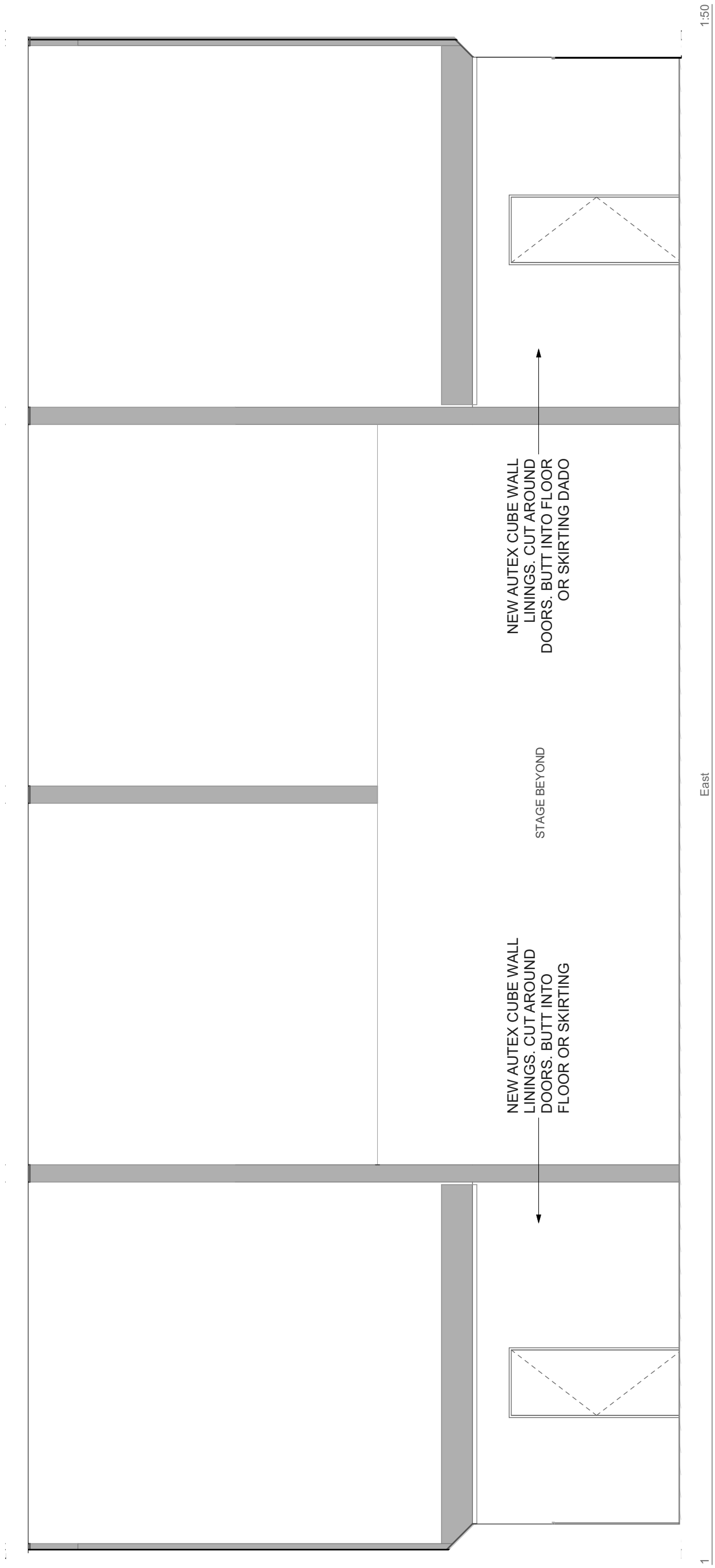
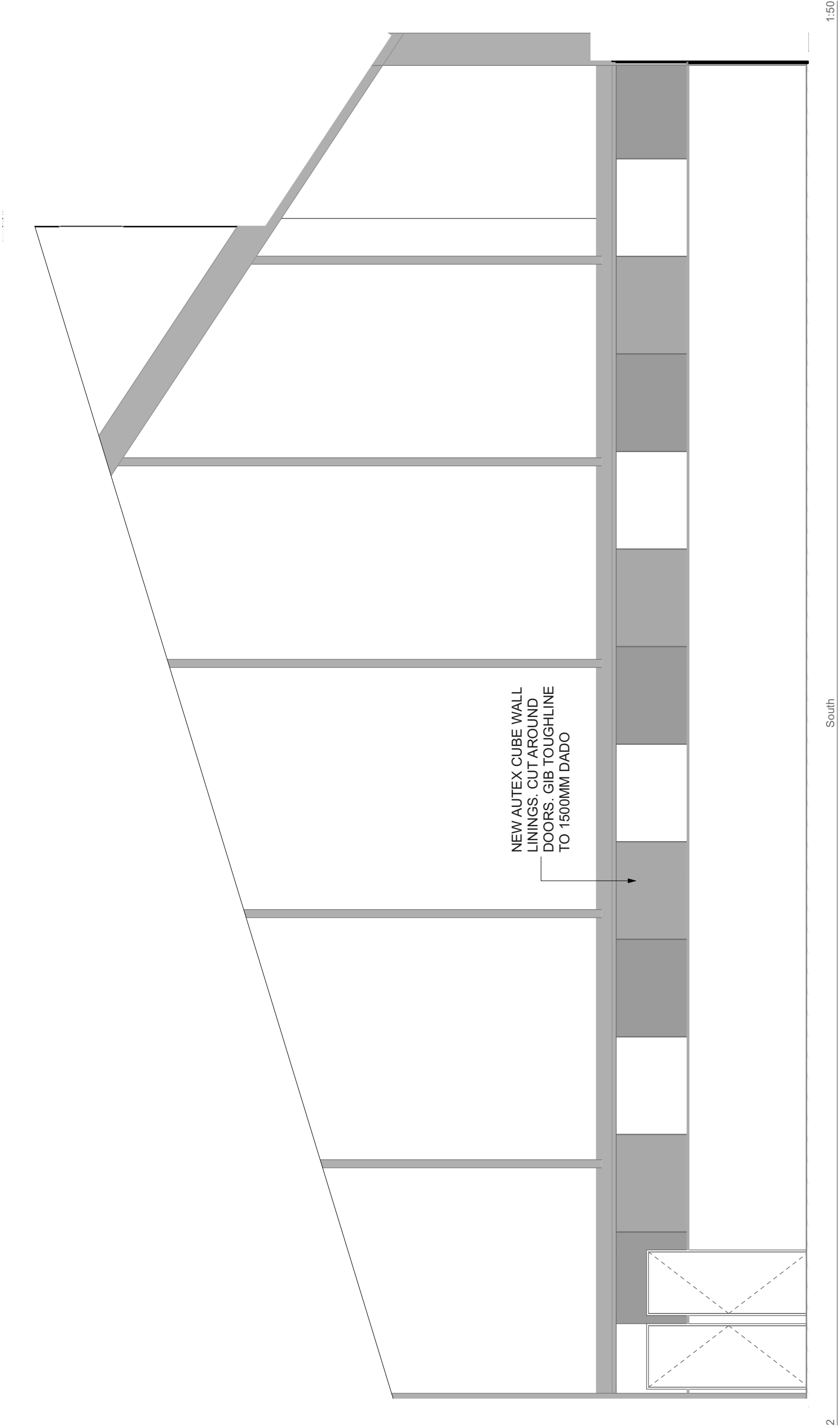
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Mechanical Plan

at	High Street, Renwick
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project ID	#12-24
drawing	DD 10

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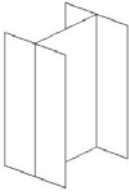



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Hall Interior Elevations

at High Street, Renwick
issued 03-Apr-18
scale @ A1 1:50
project ID #12-24
drawing DD 11.

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6.3 Hierarchy of Documents for BIM

LOD	BIM DESCRIPTION	EXAMPLE STEEL COLUMN	DOCUMENT	END USAGE	ESTIMATE FORMAT	TYPICAL ACCURACY
100	Generic representation, but does not satisfy the requirements for LOD 200. Information related to the Model Element (i.e. cost per square metre, tonnage, etc.) can be derived from other Model Elements.		Project Brief	Concept screening	Rough order of costs	-50 to + 100 %
200	Generic system, object, or assembly with Approximate quantities, size, shape, location, and orientation. Non-graphic information may also be attached to the Model Element.		Schematic design or early developed design	Feasibility	NZIQS ELEMENTAL ANALYSIS	-20 to + 30 %
300	Specific system, object or assembly in terms of quantity, size, shape, location, and orientation. Non-graphic information may also be attached to the Model Element.		Developed design	Budget authorisation	NZIQS ELEMENTAL ANALYSIS	-15 to + 20 %
400	Specific system, object or assembly in terms of size, shape, location, quantity, and orientation with detailing, fabrication, assembly, and installation information. Non-graphic information may also be attached to the Model Element.		Contract or building consent	Tender	CBI DETAILED TRADE FORMAT	- 5 to + 10 %
500	Field verified representation in terms of size, shape, location, quantity, and orientation. Non-graphic information may also be attached to the Model Elements.		Completed structure	Post Tender or as built	CBI DETAILED TRADE FORMAT	- 5 to + 5 %

*Level of Development as per the NZ BIM Handbook. This table is issued as a guide only. Project parameters vary greatly and may have a subsequent effect on accuracy.