



## ARPA FUNDED JOB

### REQUEST FOR PROPOSAL (RFP)

#### General Construction Bid - RFP D1 – Rehabilitation

The Wilmington Neighborhood Conservancy Land Bank (Land Bank) will receive sealed general construction bids in a Land Bank bid drop box located at the Real Estate and Housing Office on the 7<sup>th</sup> floor in the City/County Building, 800 French Street, Wilmington, DE 19801 on the time and date listed below:

**Proposals are due on Wednesday 8/19/2022 no later than 10am.**

Project address: 1006 N. Lombard Street – Parcel number 2603610399

Drawings to be used for pricing the rehabilitation have been created by Breckstone Architecture and will be distributed at the pre-bid meeting (see below). Properties will be presented for construction in “as-is” condition.

A mandatory pre-bid meeting will be held in the Emergency Operations Room of the Emergency Operations Center, 22 S. Heald Street, on 7/29/2022 at 8 AM. A site visit of the property will occur immediately following this meeting – it is unsafe to enter – door will be open.

The overall construction duration is anticipated to be 6 months which commences after signing the contract.

This RFP is available online at <https://wilmingtonlandbank.org> and <https://www.wilmingtonde.gov/government/city-departments/departments-of-real-estate-and-housing>

The Land Bank will acknowledge receipt of bids via email and will commit to communicate about the bid results within 15 business days.

\*The Land Bank reserves the right to reject any and/or all proposals, to waive technicalities, to advertise for new proposals, or to proceed to do the work otherwise, if in the judgement of the Land Bank the best interest of the dispersal of the ARPA funds will be promoted thereby.

#### Questions and Answers:

- Questions must be submitted via email to: [info@wilmingtonlandbank.org](mailto:info@wilmingtonlandbank.org)
- All questions must be submitted by 8/8/2022
- Answers to all questions will be issued to all interested parties via email by 8/12/2022 via email only.

Ray Saccomandi  
Wilmington Neighborhood Conservancy Land Bank  
404 N. Market Street, Wilmington, DE 19801  
[info@wilmingtonlandbank.org](mailto:info@wilmingtonlandbank.org)

## **GENERAL INFORMATION:**

1. Any proposal may be withdrawn prior to the schedule time for opening of proposals or authorized postponement thereof. No proposal may be withdrawn within sixty (60) calendar days after the actual opening thereof.
2. The successful bidder will be required to submit an appropriate business license from the Department of Finance, Revenue Division, City of Wilmington, in order to be awarded the contract.
3. The successful bidder must carry insurance, including workers compensation.
4. The successful bidder will be required to withhold City of Wilmington Wage Tax from their employees and pay such withheld taxes to the City of Wilmington pursuant to the provisions of the Wilmington Wage Tax Law. This law applies to people living and/or working in the City of Wilmington.
5. The successful bidder is required follow all requirements related to a permit issued by the Department of Licenses & Inspections. It will be issued upon final execution of the contract by the Land Bank.
6. The successful bidder certifies that they are not listed on the Federal Governmental, Excluded Parties List System ([www.sam.gov](http://www.sam.gov)). This will be verified by the Land Bank and if listed may be grounds for rejection of the bid or proposal.
7. The successful bidder and any subcontractors will be required to submit financial reports for the project. This is an American Rescue Plan Act (ARPA) requirement. The successful bidder will be supported in this effort by consultants to the City of Wilmington. These consultants will assist the successful bidder and its subcontractors understand and establish methods to submit monthly reports to the Land Bank. Refer to exhibit A for additional ARPA terms and conditions. Further information will be distributed at the pre-bid meeting.
8. Award and Execution of Contract
  - a. **Consideration of Proposals.** Before awarding the contract, if it be awarded, the bidder may be required to show that he/she has the ability, experience, necessary equipment, experienced personnel, and financial resources to successfully carry out the work required by the contract. The Land Bank reserves the right to negotiate with any individual or entity that submits a responsible bid. A scorecard will be used to assist with all bid evaluations.
  - b. **Award of Contract.** The award of the contract, if it be awarded, will be within 15 business days of the bid submission, unless otherwise notified, after the opening of proposals. It will be awarded to the qualified bidder whose proposal complies with all the requirements prescribed. The successful bidder will be notified by email and/or letter mailed to the address shown on their proposal that their proposal has been accepted and the firm been awarded the contract.
  - c. **Cancellation of Award.** The Land Bank reserves the right to cancel the award, or part of the award, of any contract at any time before the execution of said contract by all parties without any liability against the Land Bank.

9. Any person doing business or seeking to do business with the Land Bank shall abide by the following Global Sullivan Principles:
- a. Support universal human rights and particularly, those of employees, the communities within which you operate, and parties with whom you do business.
  - b. Promote equal opportunity for employees at all levels of the company with respect to issues such as color, race, gender, age, ethnicity, or religious beliefs, and operate without unacceptable worker treatment such as the exploitation of children, physical punishment, female abuse, involuntary servitude, or other forms of abuse.
  - c. Respect employee's voluntary freedom of association.
  - d. Compensate employees to enable them to meet at least their basic needs and provide the opportunity to improve their skill and capability in order to raise their social and economic opportunities.
  - e. Provide a safe and healthy workplace; protect human health and the environment; and promote sustainable development.
  - f. Promote fair competition including respect for intellectual and other property rights, and not offer, pay, or accept bribes.
  - g. Work with governments and communities in which you do business to improve the quality of life in those communities - their educational, cultural, economic, and social well-being - and seek to provide training and opportunities for workers from disadvantaged backgrounds.
  - h. Promote the application of these principles by those with whom you do business.

## **SUBMISSION REQUIREMENTS:**

- a) Proposals must be a signed original and three (3) complete copies, sealed in an envelope, and the envelope endorsed **1006 N. Lombard Street** and addressed to the Land Bank c/o Ray Saccomandi. The envelope is to be delivered to the Real Estate and Housing on the 7<sup>th</sup> floor of the City County building, 800 N French Street, Wilmington, Delaware.
- b) Name, address, and contact information of firm or individual responding to this RFP.
- c) Include a copy of the City of Wilmington Business License
- d) Include a sample certificate of insurance (or some other form of proof of insurance) from the bidder's insurance company
- e) Include a completed bid form. If the same contractor or subcontractor is performing more than one trade, please note this on the form. The total value on the bid form is the final bid amount that will be established for a contract.
- f) Firm Overview – Provide a brief description of individual or organization, history, leadership team and number of employees.
- g) Include a short statement of capabilities and a list of projects (past and current) detailing relevant construction experience in the City of Wilmington.
- h) Project Timeline/Schedule – Confirm that the bidder understands that proposed completion date for the project.

Note: Any firm may submit a bid on this project even if a firm does not have the capital to front the project. The ARPA program has funding to assist small businesses with zero interest loans available at WEDCO.



## **EVALUATION CRITERIA:**

Evaluations will be scored and based on (see enclosed scoring form):

- Original bid and 3 complete copies
- Completion of bid form
- Bid amount
- Submitted City of Wilmington business license
- Submitted proof of insurance
- Identify if WBE/MBE/DBE, etc. Please clarify if formally registered with any government entity.
- The general contractor's prior experience with similar projects in the City of Wilmington.
- Pre-bid meeting attendance

Each bullet point will be scored on a scale of 1-10 with 10 being the highest allotment of points per category. The Land Bank will negotiate a contract with the successful bidder, outlining the terms and conditions of the project.

RFP DUE DATE: August 19, 2022  
PROJECT IDENTIFIER: D1 Rehabilitation, 1006 N. Lombard Street (Parcel no2603610399)

**WILMINGTON LAND BANK – ARPA FUNDED PROJECT**  
**General Construction Bid Form**

(fill in as appropriate)	Value	MBE/DBE (Y/N)	Subcontractor name
Demolition (includes shoring)	\$ _____	_____	_____
Landscaping	\$ _____	_____	_____
Masonry and brick pointing	\$ _____	_____	_____
Concrete	\$ _____	_____	_____
Roofing/Siding	\$ _____	_____	_____
Rough Carpentry, Drywall, Insulation	\$ _____	_____	_____
Painting (interior and exterior)	\$ _____	_____	_____
Electric	\$ _____	_____	_____
HVAC	\$ _____	_____	_____
Plumbing	\$ _____	_____	_____
Cabinetry, Final Carpentry (trim)	\$ _____	_____	_____
Doors, Windows, Hardware	\$ _____	_____	_____
Appliances	\$ _____	_____	_____
Flooring	\$ _____	_____	_____
Ceramic Tile	\$ _____	_____	_____
Other (identify)	\$ _____	_____	_____
General Conditions (labor/trash, etc)	\$ _____	_____	_____
Fee (Profit)	\$ _____	_____	_____

TOTAL BID \$ \_\_\_\_\_

Bidder Company Name

Principal Signature

\_\_\_\_\_, \_\_\_\_\_

Printed Name

Date

\_\_\_\_\_

WILMINGTON LAND BANK - GENERAL CONSTRUCTION BID SCORE CARD	
Name of Bidder: (company or person)	
Date of Receipt:	
LB Property Address:	

Task	Avail points	Fair (1)	Good (5)	Excellent (10)	Total	Notes
Original and 3 copies of bid	10					
Completed bid form (within above)	10					
Total Bid Amount	10					
Includes City of Wilmington Bus License	10					
Includes proof of insurance	10					
WBE/MBE/DBE or other	10					
Prior experience listed in bid	10					
Mandatory Pre-bid attendance	10					
Scope Review call held post-bid	10					

TOTAL POINTS	90				
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## **ATTACHMENT A**

### **AMERICAN RESCUE PLAN ACT** **CORONAVIRUS LOCAL FISCAL RECOVERY FUND AWARD TERMS** **AND CONDITIONS AS SET BY THE UNITED STATES TREASURY**

**(the Agreement as supplemented by these American Rescue Plan Act Coronavirus Local Fiscal Recovery Fund Award Terms and Conditions as set by the United States Treasury shall hereinafter be referred to collectively as the “Agreement”)**

1. Records. The successful bidder  
(hereinafter referred to in this Attachment as the “Contractor”) shall provide copies of all records and financial documents related to this project to the City. The records must be sufficient to evidence compliance by the Contractor with section 603(c) of the American Rescue Plan Act (the “Act”).
2. Conflicts of Interest. The Contractor understands and agrees it must maintain a conflict of interest policy consistent with 2 C.F.R. § 200.318(c) and that such conflict of interest policy is applicable to each activity funded under this Agreement. The Contractor must disclose in writing to the City, as appropriate, any potential conflict of interest affecting the awarded funds in accordance with 2 C.F.R. § 200.112.
  - a. 2 C.F.R. § 200.318(c) reads as follows:
    - (1) The non-Federal entity must maintain written standards of conduct covering conflicts of interest and governing the actions of its employees engaged in the selection, award and administration of contracts. No employee, officer, or agent may participate in the selection, award, or administration of a contract supported by a Federal award if he or she has a real or apparent conflict of interest. Such a conflict of interest would arise when the employee, officer, or agent, any member of his or her immediate family, his or her partner, or an organization which employs or is about to employ any of the parties indicated herein, has a financial or other interest in or a tangible personal benefit from a firm considered for a contract. The officers, employees, and agents of the non-Federal entity may neither solicit nor accept gratuities, favors, or anything of monetary

value from contractors or parties to subcontracts. However, non-Federal entities may set standards for situations in which the financial interest is not substantial or the gift is an unsolicited item of nominal value. The standards of conduct must provide for disciplinary actions to be applied for violations of such standards by officers, employees, or agents of the non-Federal entity.

(2) If the non-Federal entity has a parent, affiliate, or subsidiary organization that is not a State, local government, or Indian tribe, the non-Federal entity must also maintain written standards of conduct covering organizational conflicts of interest. Organizational conflicts of interest means that because of relationships with a parent company, affiliate, or subsidiary organization, the non-Federal entity is unable or appears to be unable to be impartial in conducting a procurement action involving a related organization.

b. 2 C.F.R. § 200.112 reads as follows:

The Federal awarding agency must establish conflict of interest policies for Federal awards. The non-Federal entity must disclose in writing any potential conflict of interest to the Federal awarding agency or pass-through entity in accordance with applicable Federal awarding agency policy.

3. Debarment or Suspension. The Contractor certifies that no employees, owner or individuals affiliated with the Project have been the subject of debarment or suspension by a federal or state agency.
4. Drug-Free Workplace. The Contractor certifies that it is complying with the federal government requirements for a Drug-Free Workplace, as stated in 31 C.F.R. Part 20.
5. New Restrictions on Lobbying. The Contractor certifies that it is complying with the federal government requirements for New Restrictions on Lobbying, as stated in 31 C.F.R. Part 21.
6. Environmental laws. The Contractor certifies that it is complying with generally applicable federal environmental laws and regulations.
7. Prohibition on Discrimination. The statutes and regulations prohibiting discrimination applicable to this Agreement include, without limitation, the following:

- a. Title VI of the Civil Rights Act of 1964 (42 U.S.C. §§ 2000d et seq.) and Treasury's implementing regulations at 31 C.F.R. Part 22, which prohibit discrimination on the basis of race, color, or national origin under programs or activities receiving federal financial assistance;
  - b. The Fair Housing Act, Title VIII of the Civil Rights Act of 1968 (42 U.S.C. §§ 3601 et seq.), which prohibits discrimination in housing on the basis of race, color, religion, national origin, sex, familial status, or disability;
  - c. Section 504 of the Rehabilitation Act of 1973, as amended (29 U.S.C. § 794), which prohibits discrimination on the basis of disability under any program or activity receiving federal financial assistance;
  - d. The Age Discrimination Act of 1975, as amended (42 U.S.C. §§ 6101 et seq.), and Treasury's implementing regulations at 31 C.F.R. Part 23, which prohibit discrimination on the basis of age in programs or activities receiving federal financial assistance; and
  - e. Title II of the Americans with Disabilities Act of 1990, as amended (42 U.S.C. §§ 12101 et seq.), which prohibits discrimination on the basis of disability under programs, activities, and services provided or made available by state and local governments or instrumentalities or agencies thereto.
8. Recoupment of funds. In the case of a violation of section 603(c) of the Act, or accompanying U.S. Treasury regulations regarding the use of funds, previous payments to the Contractor shall be subject to recoupment.
9. Publications. Any publications produced with funds from this award must display the following language: "This project [is being] [was] supported, in whole or in part, by federal award number [enter project FAIN] awarded to [name of Recipient] by the U.S. Department of the Treasury."
10. Protections for Whistleblowers. In accordance with 41 U.S.C. § 4712, the Contractor may not discharge, demote, or otherwise discriminate against an employee in reprisal for disclosing to any of the list of persons or entities provided below, information that the employee reasonably believes is evidence of gross mismanagement of a federal contract or grant, a gross waste of federal funds, an abuse of authority relating to a federal contract or grant, a substantial and specific danger to public health or safety, or a

violation of law, rule, or regulation related to a federal contract (including the competition for or negotiation of a contract) or grant. The Contractor shall inform its employees in writing of the rights and remedies provided under this section, in the predominant native language of the workforce. The list of persons and entities referenced in this paragraph includes the following:

- a. A member of Congress or a representative of a committee of Congress;
- b. An Inspector General;
- c. The Government Accountability Office;
- d. A Treasury employee responsible for contract or grant oversight or management;
- e. An authorized official of the Department of Justice or other law enforcement agency;
- f. A court or grand jury; or
- g. A management official or other employee of the City, the Contractor, or subcontractor who has the responsibility to investigate, discover, or address misconduct.

11. Increasing Seat Belt Use in the United States. Pursuant to Executive Order 13043, 62 FR 19217 (Apr. 18, 1997), the Contractor and its subcontractors are encouraged to adopt and enforce on-the-job seat belt policies and programs for their employees when operating company-owned, rented and personally owned vehicles.

12. Reducing Text Messaging While Driving. Pursuant to Executive Order 13513, 74 FR 51225 (Oct. 6, 2009), the Contractor and its subcontractors are encouraged to adopt and enforce policies that ban text messaging while driving, and the Contractor should establish workplace safety policies to decrease accidents caused by distracted drivers.

13. Assurances of Compliance with Title VI of the Civil Rights Act of 1964. The sub-grantee, contractor, subcontractor, successor, transferee, and assignee shall comply with Title VI of the Civil Rights Act of 1964, which prohibits recipients of federal financial assistance from excluding from a program or activity, denying benefits of, or otherwise discriminating against a person on the basis of race, color, or national origin (42 U.S.C. § 2000d et seq.), as implemented by the Department of the Treasury's Title VI regulations, 31 CFR Part 22, which are herein incorporated by reference and made a part of this contract (or agreement). Title VI also includes protection to persons with "Limited English Proficiency" in any program or activity receiving federal financial assistance, 42 U.S.C. § 2000d et seq., as

implemented by the Department of the Treasury's Title VI regulations, 31 CFR Part 22, and herein incorporated by reference and made a part of this contract or agreement.

- a. The Contractor shall cooperate in any enforcement or compliance review activities by the Department of the Treasury of the aforementioned obligations. Enforcement may include investigation, arbitration, mediation, litigation, and monitoring of any settlement agreements that may result from these actions. The Contractor shall comply with information requests, on-site compliance reviews and reporting requirements.
- b. The Contractor shall maintain a complaint log and inform the City and the Department of the Treasury of any complaints of discrimination on the grounds of race, color, or national origin, and limited English proficiency covered by Title VI of the Civil Rights Act of 1964 and implementing regulations and provide, upon request, a list of all such reviews or proceedings based on the complaint, pending or completed, including outcome. The Contractor also must inform the Department of the Treasury if the Contractor has received no complaints under Title VI.
- c. The Contractor must provide documentation of an administrative agency's or court's findings of non-compliance of Title VI and efforts to address the non-compliance, including any voluntary compliance or other agreements between the Contractor and the administrative agency that made the finding. If the Contractor settles a case or matter alleging such discrimination, the Contractor must provide documentation of the settlement. If the Contractor has not been the subject of any court or administrative agency finding of discrimination, please so state.



**EXTERIOR RENOVATIONS**  
**1006 NORTH LOMBARD STREET**  
**WILMINGTON, DELAWARE**

ARCHITECT &  
STRUCTURAL ENGINEER  
BRECKSTONE ARCHITECTURE  
2417 LANCASTER AVENUE  
WILMINGTON, DE 19805  
(302) 654-3646

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- M-1.1 MECHANICAL (HVAC) PLANS
- E-1.1 LIGHTING / ELECTRICAL PLANS
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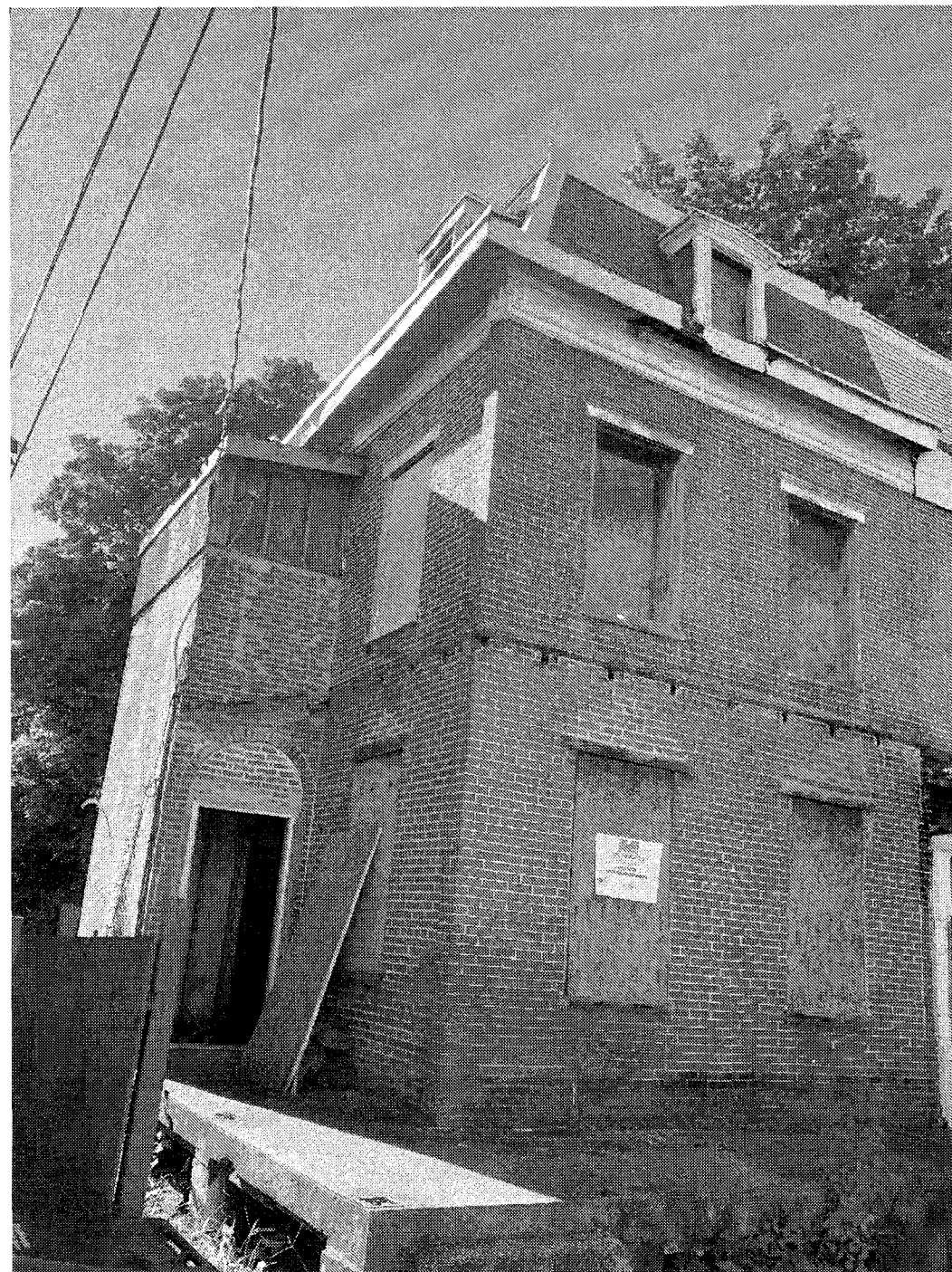


PHOTO OF FRONT CORNER -  
NORTHWEST ELEVATION

1006 NORTH LOMBARD STREET

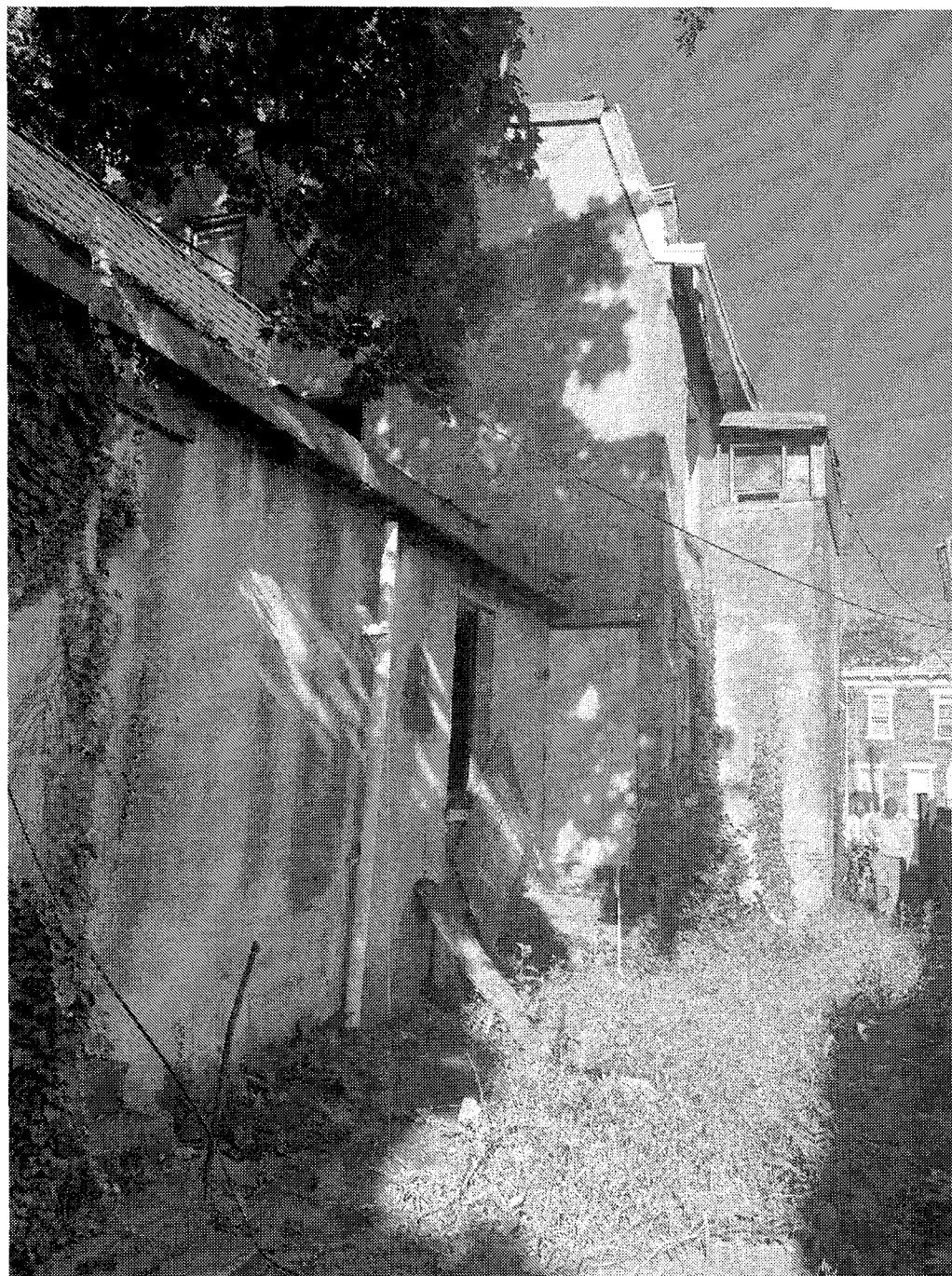


PHOTO OF SIDE -  
NORTH ELEVATION

1006 NORTH LOMBARD STREET



PHOTO OF REAR CORNER -  
NORTH ELEVATION

1006 NORTH LOMBARD STREET



Seal:

SIGNATURE: \_\_\_\_\_  
DATE OF SIGNATURE: \_\_\_\_\_  
DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_

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BRECKSTONE ARCHITECTURE, INC.

ARCHITECT / ENGINEER

**Breckstone Architecture**  
Architecture Engineering Interior Design Project Management  
Lancaster Design Center Phone: (302) 654-3646  
2417 Lancaster Avenue Fax: (302) 654-3646  
Wilmington, DE 19805 E-mail: breckstone@gmail.com

DESIGN & USE OF PROFESSIONAL SEAL

THE PROFESSIONAL SERVICES OF THE ARCHITECT  
AND ENGINEER ARE UNDERTAKEN FOR AND ARE  
PERFORMED IN THE INTEREST OF WILMINGTON  
NEIGHBORHOOD CONSERVANCY LAND BANK.  
NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE  
ARCHITECT AND ENGINEER FOR THE BENEFIT OF ANY  
OTHER PERSON INVOLVED IN THE PROJECT. THE  
ARCHITECT AND/OR ENGINEER WHO SEALED, SIGNED  
AND DATED THIS DOCUMENT HAS NOT BEEN  
EMPLOYED TO FURNISH CONSTRUCTION  
ADMINISTRATION AS DEFINED IN  
24 DEL.C. §313(C).

GENERAL NOTES		
	REVISED PER PROJECT MANAGER REVIEW	7-14-22
	REISSUED FOR FINAL REVIEW	5-20-22
	REISSUED FOR FINAL REVIEW	5-19-22
	ISSUED FOR FINAL REVIEW	5-4-22
No.	Revision/Issue	Date

CLIENT NAME & ADDRESS:  
WILMINGTON NEIGHBORHOOD  
CONSERVANCY LAND BANK  
404 NORTH MARKET STREET  
WILMINGTON, DELAWARE

PROJECT NAME & ADDRESS:  
EXTERIOR RENOVATIONS TO  
1006 NORTH LOMBARD STREET  
WILMINGTON, DELAWARE

DRAWING NAME:  
COVER SHEET

Drawn By: GFL	Checked By: TTB
Project No: 21.59	Sheet No: CS
Date: NOVEMBER 19, 2021	
Scale: AS NOTED	



SCOPE OF WORK - DEMOLITION

- 1) MISCELLANEOUS DEBRIS THRU -OUT STRUCTURE TO BE REMOVED.
- 2) REMOVE THE ONE STORY REAR ADDITION PER PLANS.
- 3) REMOVE ALL PLUMBING LINES. KEEP AND CAP FINAL RUN OF WASTE LINE LEADING TO THE STREET. MAINTAIN ONE WATER SOURCE FOR USE DURING CONSTRUCTION.
- 4) REMOVE THE HEATING SYSTEM IN ITS ENTIRETY - FURNACE, DUCT WORK, SUPPLY / RETURN REGISTERS.....
- 5) REMOVE ELECTRICAL METER, PANELS, WIRING.... PRIOR TO STARTING, CONTACT DELMARVA POWER. TO ASSURE WORK CAN PROCEED IN A SAFE MANNER.
- 6) REMOVE STAIRS, KITCHEN CABINETS & APPLIANCES, BATHROOM CABINETS & FIXTURES.
- 7) AT ALL LEVELS (FIRST, SECOND, THIRD FLOORS AND ROOFS) REMOVE ALL STRUCTURE, SHEATHING, TRIM.... IN THEIR ENTIRETY.
- 8) AT EACH ELEVATION REMOVE ALL ELEMENTS WITHIN THE MASONRY WINDOW / DOOR OPENING.
- 9) REMOVE EXISTING CONCRETE PORCH STEPS.
- 10) SCOPE OF DEMOLITION WORK TO BE FOLLOWED BY LIMITED RESTORATION WORK AS DESCRIBED ON DRAWING SET.

DEMOLITION NOTES FOR FLOOR PLANS, ROOF & ELEVATIONS:

AT ALL LEVELS REMOVE ALL INTERIOR FLOOR STRUCTURE IN THEIR ENTIRETY AND REBUILT PER DRAWINGS.

ROOF STRUCTURE TO BE REMOVED IN ITS ENTIRETY AND REBUILT PER DRAWINGS.

MASONRY WALLS TO REMAIN. CONDITION OF WALLS TO BE DETERMINED UPON COMPLETION OF DEMOLITION AND THE ARCHITECT / ENGINEER TO PROVIDE REQUIRED REPAIRS. ALL DOORS AND WINDOWS AND TEMPORARY DOOR AND WINDOW IN-FILL CONSTRUCTION TO BE REMOVED IN THEIR ENTIRETY.

MISCELLANEOUS DEBRIS THRU -OUT STRUCTURE TO BE REMOVED.

NOTE: DUE TO DETERIORATING STRUCTURAL CONDITIONS, LIMITED INTERIOR SURVEYING WAS PERFORMED. CONTRACTOR TO FIELD VERIFY CONDITIONS / DIMENSIONS AS SHOWN ON DRAWINGS.

DASHED LINES - EXISTING TO BE REMOVED

SOLID LINES - EXISTING TO REMAIN

NORTH

1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

NORTH LOMBARD STREET

2 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

3 THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

Seal:

SIGNATURE: \_\_\_\_\_  
DATE OF SIGNATURE: \_\_\_\_\_  
DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_

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ARCHITECT / ENGINEER

**Breckstone Architecture**  
Architecture Engineering Interior Design Project Management  
Lancaster Design Center Phone: (302) 654-3646  
2417 Lancaster Avenue Fax: (302) 654-3648  
Wilmington, DE 19805 E-mail: breckstone@gmail.com

DESIGN # USE OF PROFESSIONAL SEAL

THE PROFESSIONAL SERVICES OF THE ARCHITECT AND ENGINEER ARE UNDERTAKEN FOR AND ARE PERFORMED IN THE INTEREST OF WILMINGTON NEIGHBORHOOD CONSERVANCY LAND BANK. NO CONTRACTUAL OBLIGATION IS ASSUMED BY THE ARCHITECT AND ENGINEER FOR THE BENEFIT OF ANY OTHER PERSON INVOLVED IN THE PROJECT. THE ARCHITECT AND/OR ENGINEER WHO SEALED, SIGNED AND DATED THIS DOCUMENT HAS NOT BEEN EMPLOYED TO FURNISH CONSTRUCTION ADMINISTRATION AS DEFINED IN 24 DEL.C. §313(C).

GENERAL NOTES

	REVISED PER PROJECT MANAGER REVIEW	7-14-22
	REISSUED FOR FINAL REVIEW	5-20-22
	REISSUED FOR FINAL REVIEW	5-19-22
	ISSUED FOR FINAL REVIEW	5-4-22
No.	Revision/Issue	Date

CLIENT NAME & ADDRESS:  
WILMINGTON NEIGHBORHOOD  
CONSERVANCY LAND BANK  
404 NORTH MARKET STREET  
WILMINGTON, DELAWARE

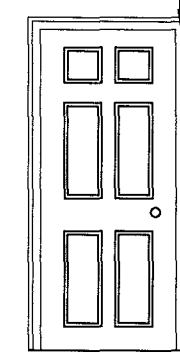
PROJECT NAME & ADDRESS:  
EXTERIOR RENOVATIONS TO  
1006 NORTH LOMBARD STREET  
WILMINGTON, DELAWARE

DRAWING NAME:  
FLOOR PLANS

Drawn By: GFL	Checked By: TTB
Project No: 21.59	Sheet No: EX-1.1
Date: NOVEMBER 19, 2021	
Scale: 1/4" = 1'-0"	

EXTERIOR / INTERIOR DOOR SCHEDULE									
DOOR NO.	DOOR SIZE	DOOR THICK.	DOOR MATERIAL	DOOR FINISH	DOOR FUNCTION	FRAME MATERIAL	FRAME FINISH	DOOR THRESHOLD	REMARKS
101	2'-0" x 6'-0"	1 3/4"	METAL	PANT	SINGLE SWING	METAL	PANT	YES	FRONT ENTRANCE DOOR - PROVIDE LOCKSET
102	2'-10" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SINGLE SWING	WOOD	PANT	N/A	LOCATION: TO BASEMENT
103	2'-10" x 6'-0"	1 3/4"	METAL	PANT	SINGLE SWING	METAL	PANT	YES	REAR ENTRANCE DOOR - PROVIDE LOCKSET
104	2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	POCKET DOOR	WOOD	PANT	N/A	LOCATION: HALF BATH - PROVIDE PRIVACY LOCK
105	2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SH-HOLDING	WOOD	PANT	N/A	LOCATION: LIVING ROOM
201	2'-4" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SINGLE SWING	WOOD	PANT	MARBLE	LOCATION: FULL BATH - PROVIDE PRIVACY LOCK
202	2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SINGLE SWING	WOOD	PANT	N/A	LOCATION: BEDROOM
203	2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SH-HOLDING	WOOD	PANT	N/A	LOCATION: BEDROOM
204	2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SINGLE SWING	WOOD	PANT	N/A	LOCATION: BEDROOM
205	(2) 2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SH-HOLDING	WOOD	PANT	N/A	LOCATION: BEDROOM
301	2'-4" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SINGLE SWING	WOOD	PANT	MARBLE	LOCATION: MAIN BATH - PROVIDE PRIVACY LOCK
302	2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SH-HOLDING	WOOD	PANT	N/A	LOCATION: MAIN BEDROOM
303	(2) 2'-0" x 6'-0"	1 3/4"	SOLID CORE WOOD	PANT	SH-HOLDING	WOOD	PANT	N/A	LOCATION: MAIN BEDROOM

NOTE: PROVIDE 3/8" COLONIAL CASING (CLEAR FOR LAM, PROVIDE A PAINTED) TYPICAL FOR EACH DOOR



TYPICAL INTERIOR DOOR TYPE  
NOTE: SECOND AND THIRD FLOOR DOORS TO HAVE A 3/4" UNDERCUT

#### LIFE SAFETY

PROVIDE WIRED - INTERCONNECTED AUTOMATIC SMOKE / CARBON MONOXIDE DETECTION SYSTEM:  
- IN EACH ROOM USED FOR SLEEPING PURPOSES  
- OUTSIDE EACH SEPARATE SLEEPING AREA  
- ON EACH STORY WITHIN THE DWELLING UNIT INCLUDING BASEMENT - SHOWN THUS  $\text{SCD}$  ON FLOOR PLANS

#### SCOPE OF WORK - RESTORATION

- RESTORE PERIMETER BASEMENT WALLS UTILIZING CONPROCO PRODUCTS - PREP WALLS PER CONPROCO SPECIFICATIONS.
- RECONSTRUCT ROOFS - 2nd FLOOR SHED ROOF WITH BASE AND 3rd FLOOR MANSARD ROOF (WITH NEW WOOD WINDOWS) AS NOTED AND DETAILED ON DRAWINGS.
- PROVIDE A NEW ROOF SYSTEM - NEW FULLY ADHERED (WATER BASED) EPDM ROOF MEMBRANE SYSTEM ON  $\frac{1}{2}$ " BLUE RIBBON OSB ROOF SHEATHING BY GEORGIA - PACIFIC
- PROVIDE BATT INSULATION AS SHOWN - PRIOR TO ENCLOSING INTERIOR WITH GYPSUM WALL BOARD AS SPECIFIED. FILL WALL CAVITY WITH R-21 BATT INSULATION. PROVIDE ROOF CAVITY WITH R-38 BATT INSULATION.
- CLEAN / REPOINT / REPAIR EXISTING BRICK FACADE ON ENTIRE WEST, NORTH, EAST ELEVATIONS AS NOTED ON DRAWING A-3.1
- PROVIDE NEW RAISED PANEL METAL FRONT AND REAR DOORS AT FORMER LOCATION. METAL DOOR FOR SECURITY.
- PROVIDE NEW PAINTED WOOD WINDOWS - WINDOW DIMENSIONS AND LOCATION TO MATCH FORMER WINDOWS.
- RECONSTRUCT PORCH AT EXISTING CONCRETE PORCH SLAB AS NOTED AND DETAILED ON DRAWING SET. CLEAN EXISTING CONCRETE PORCH SLAB. PROVIDE NEW LATTICE AT PORCH BASE BETWEEN EXISTING CONCRETE COLUMNS AND PROVIDE A NEW SET OF PORCH STEPS AS NOTED AND DETAILED ON DRAWING SET.
- ARCHITECT'S RECOMMENDATION FOR NEW DOORS, WINDOWS, TRIM, PORCH: BENJAMIN MOORE'S WILLIAMSBURG COLLECTION - GOODWIN GREEN, CW-555. (APPROVED EQUAL ALLOWABLE)
- SCOPE OF WORK LISTED BY ARCHITECT'S RECOMMENDATION FOR ORDER OF WORK, FINAL MEANS AND METHODS TO BE DETERMINED BY CONTRACTOR.
- SCOPE OF WORK TO BE USED IN CONJUNCTION WITH DRAWING SET.

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CONSERVANCY LAND BANK  
404 NORTH MARKET STREET  
WILMINGTON, DELAWARE

PROJECT NAME & ADDRESS:  
EXTERIOR RENOVATIONS TO  
1006 NORTH LOMBARD STREET  
WILMINGTON, DELAWARE

DRAWING NAME:  
FLOOR PLANS

Drawn By: GFL	Checked By: TTB
Project No: 21.59	Sheet No: A-1.1
Date: NOVEMBER 19, 2021	
Scale: 1/4" = 1'-0"	

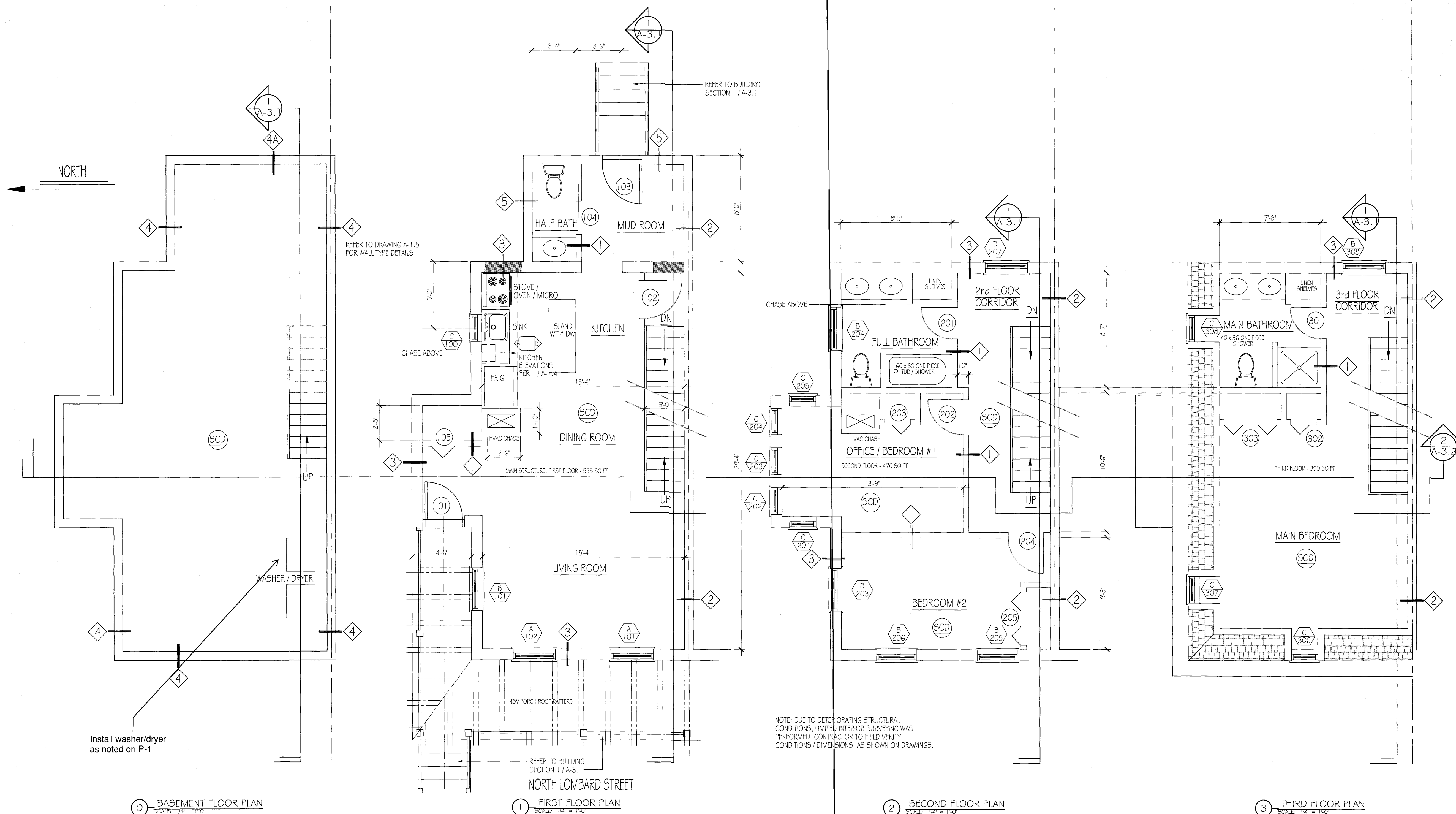




PHOTO 3  
STREET LEVEL

PHOTO 7  
AERIAL VIEW

PHOTO 6  
AERIAL VIEW

PHOTO 9  
AERIAL VIEW

PHOTO 8  
AERIAL VIEW

REAR ADDITION TO BE REMOVED PER PLANS  
PROVIDE NEWLY LANDSCAPED BACK AND SIDE YARDS

ORIGINAL THREE STORY TO HAVE  
EXTERIOR FULLY RESTORED

PHOTO 5  
AERIAL VIEW

4 ROOF PLAN  
SCALE: 1/4" = 1'-0"

PHOTO 1  
STREET LEVEL

NORTH

PHOTO 4  
AERIAL VIEW

PHOTO 2  
STREET LEVEL



1 PHOTO -  
FRONT (WEST) ELEVATION  
STREET LEVEL



2 PHOTO -  
FRONT / SIDE (NORTHWEST CORNER) ELEVATION  
STREET LEVEL



3 PHOTO -  
REAR / SIDE (NORTHEAST CORNER) ELEVATION  
STREET LEVEL



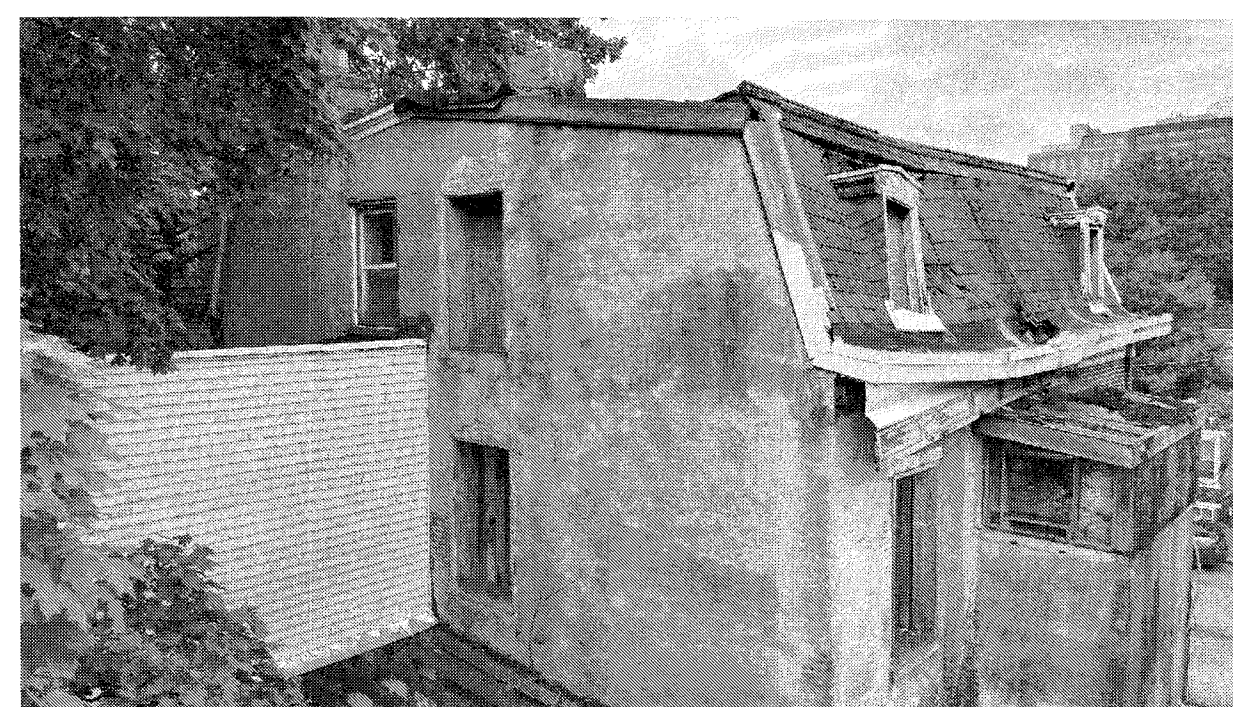
4 PHOTO -  
MANSARD ROOF (NORTHWEST CORNER) ELEVATION  
AERIAL VIEW



5 PHOTO -  
MANSARD ROOF  
AERIAL VIEW



6 PHOTO -  
MANSARD ROOF (NORTHEAST CORNER) DETAIL  
AERIAL VIEW



7 PHOTO -  
MANSARD ROOF (NORTHEAST CORNER) DETAIL  
AERIAL VIEW



8 PHOTO -  
ONE STORY ROOF  
AERIAL VIEW



9 PHOTO -  
ONE STORY ROOF  
AERIAL VIEW

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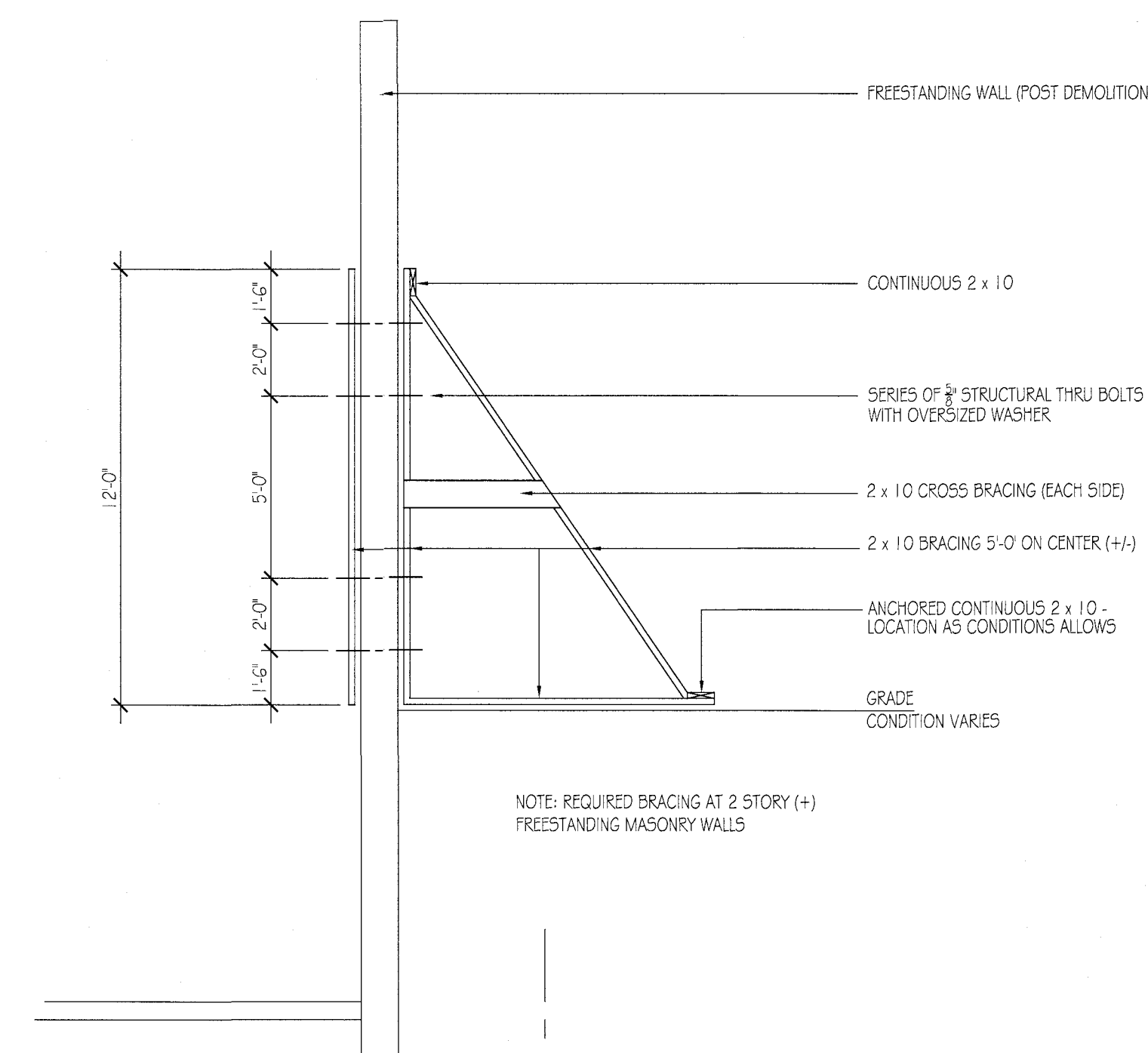
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DRAWING NAME:  
ROOF PLAN / PHOTOS

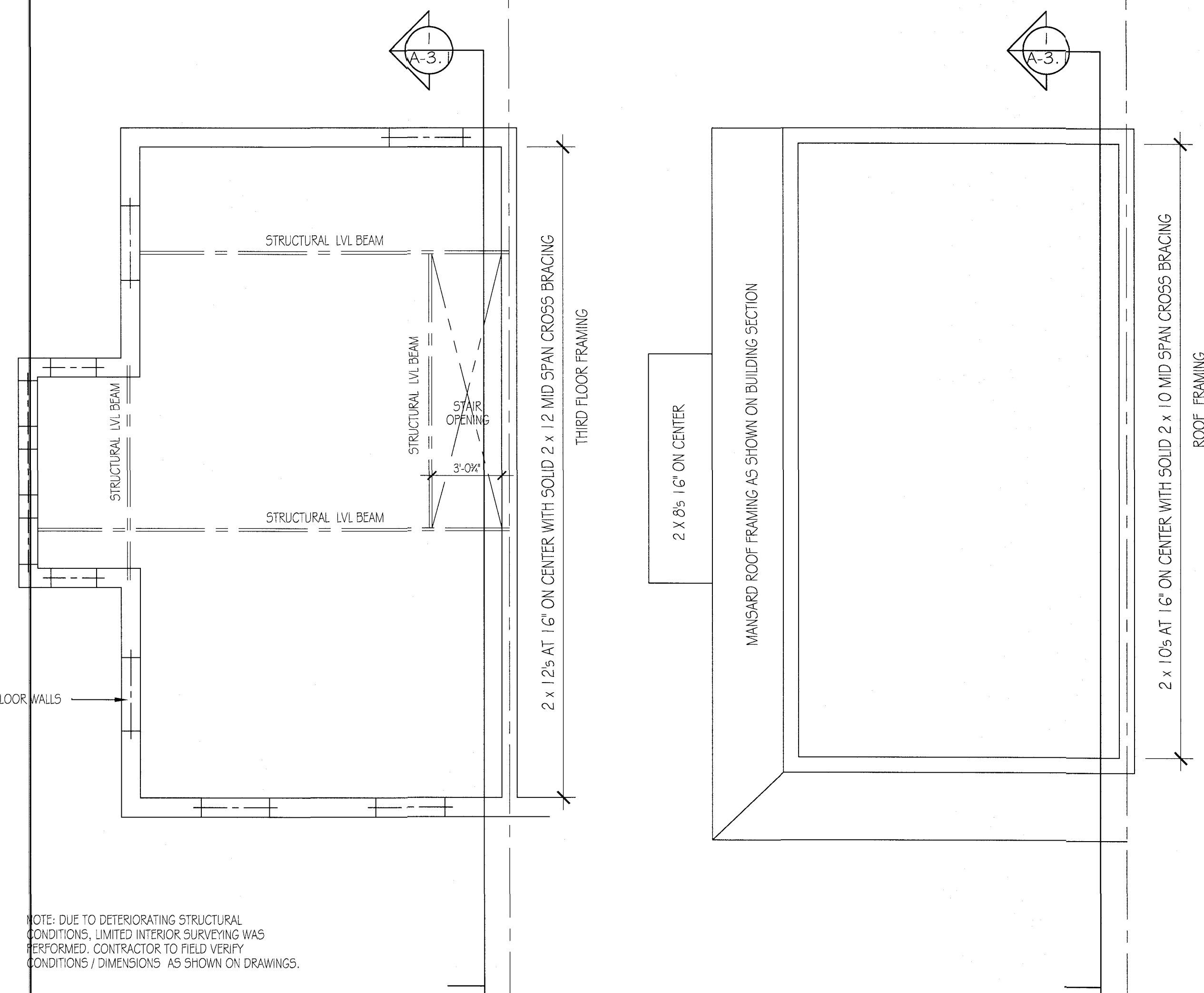
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Date:	NOVEMBER 19, 2021		
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A-1.2





4 TEMPORARY STRUCTURAL BRACING  
SCALE: 1/4" = 1'-0"



① FIRST FLOOR STRUCTURAL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

2 PORCH / SHED ROOF FRAMING PLAN AND  
SECOND FLOOR STRUCTURAL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

③ THIRD FLOOR STRUCTURAL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

4 ROOF STRUCTURAL FRAMING PLAN  
SCALE: 1/4" = 1'-0"

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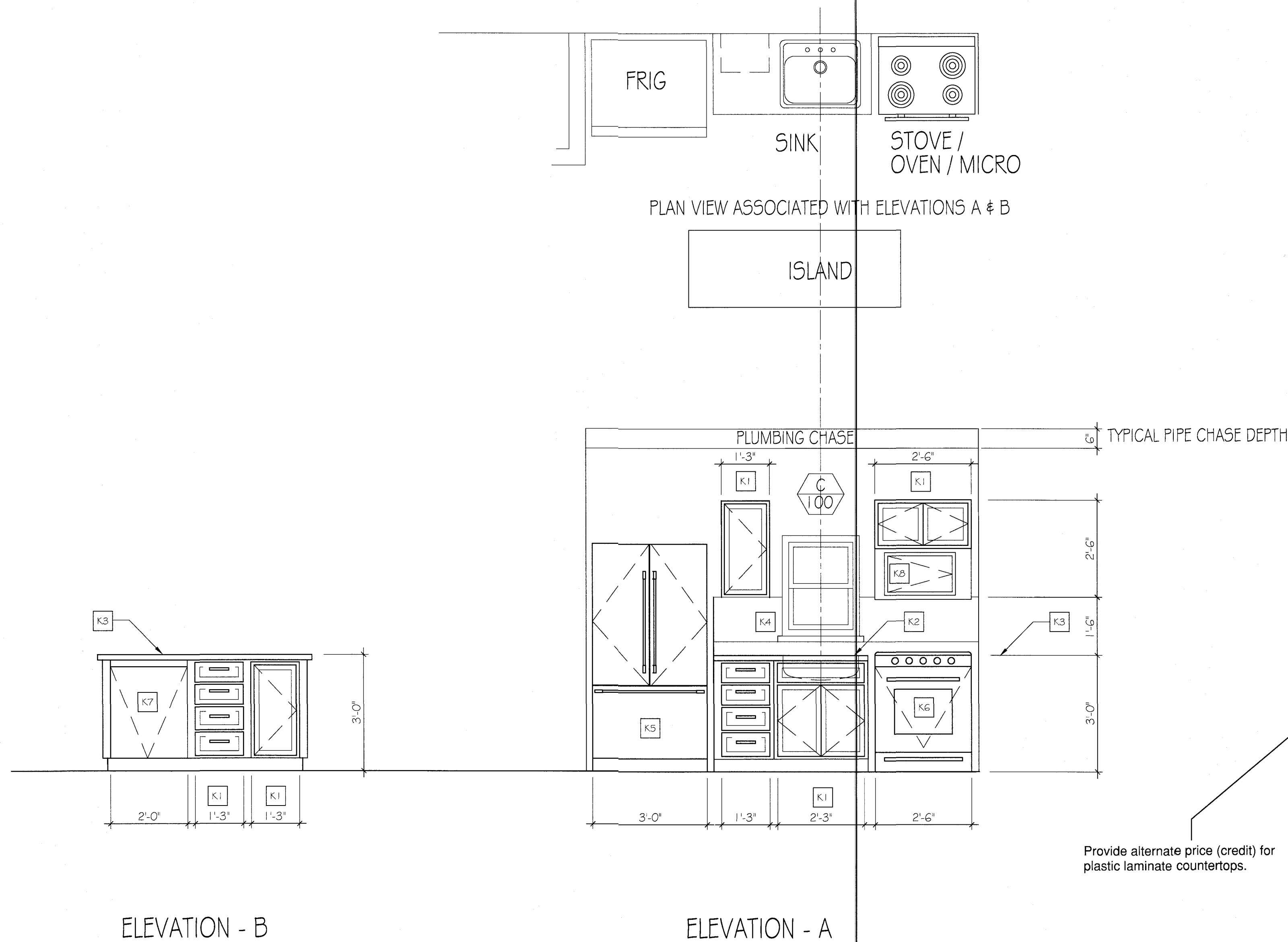
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DRAWING NAME:  
STRUCTURAL PLANS

Drawn By: GFL	Checked By: TTB
Project No: 21.59	Sheet No: A-1.3
Date: NOVEMBER 19, 2021	
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1 KITCHEN ELEVATIONS  
SCALE: 1/2" = 1'-0"

KITCHEN DESIGN NOTES	
K1	RAISED PANEL STAINED BIRCH (OR EQUAL) FACED WOOD BASE AND WALL CABINET DOORS, DRAWER FRONTS & APRON OVER BIRCH-FACED BASE WITH ADJUSTABLE 3/4" BIRCH VENEER PLYWOOD SHELVES. ALL EXPOSED FACES TO BE STAINED BIRCH (OR EQUAL).
K2	INSTALL 24" x 21", 20 GAUGE STAINLESS STEEL SINGLE BOWL SINK COMPLETE WITH NEW FAUCET, TAILPIECES, TRAPS, SHUT OFFS AND STRAINERS. ALLOW FOR MEDIUM PRICE FAUCET AND GARBAGE DISPOSAL.
K3	GRANITE COUNTERTOP, STANDARD SELECTION BY OWNER.
K4	THIN SET SUBWAY TILE TO BE SELECTED BY OWNER.
K5	ENERGY STAR RATED REFRIGERATOR, ALL STAINLESS FINISH.
K6	ENERGY RATED GAS STOVE WITH ALL STAINLESS STEEL FINISH.
K7	ENERGY STAR RATED DISHWASHER, STAINLESS STEEL FINISH.
K8	COMBO ENERGY RATED MICROWAVE OVEN; INSTALL UNDER WALL CABINET ABOVE STOVE; STAINLESS STEEL FINISH.
NOTE:	EXPOSED BACKS / SIDES OF CABINETS TO HAVE STAINED BIRCH (OR EQUAL) PANELS TO MATCH CABINET FACES.

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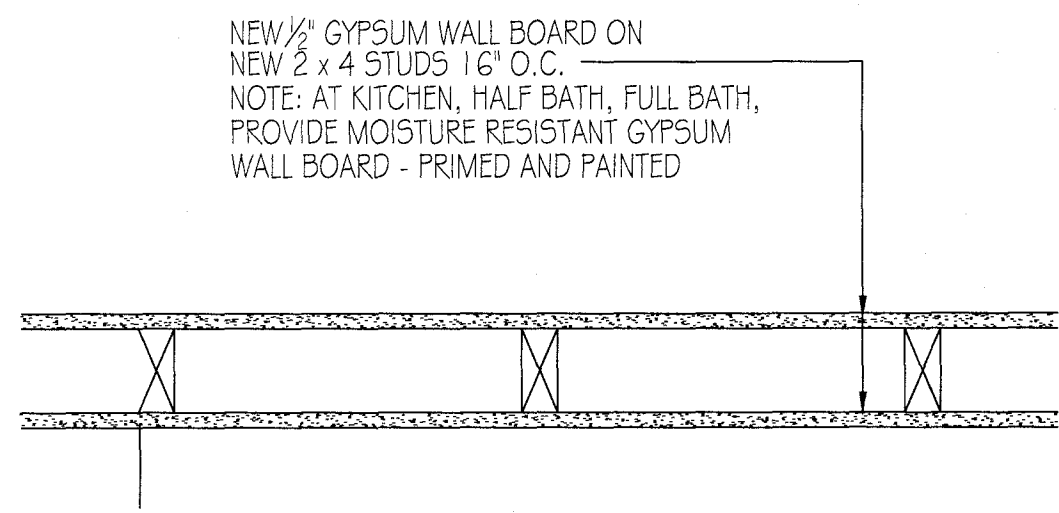
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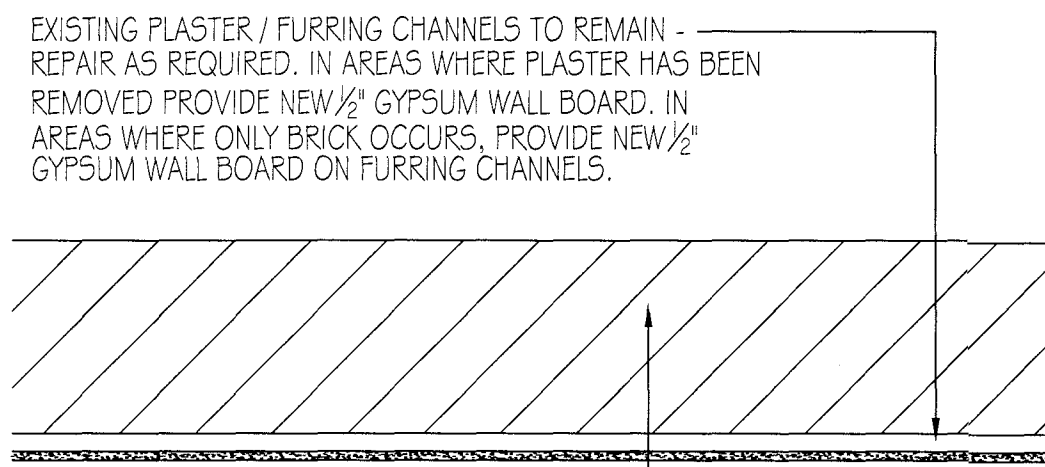
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DRAWING NAME:  
KITCHEN PLANS

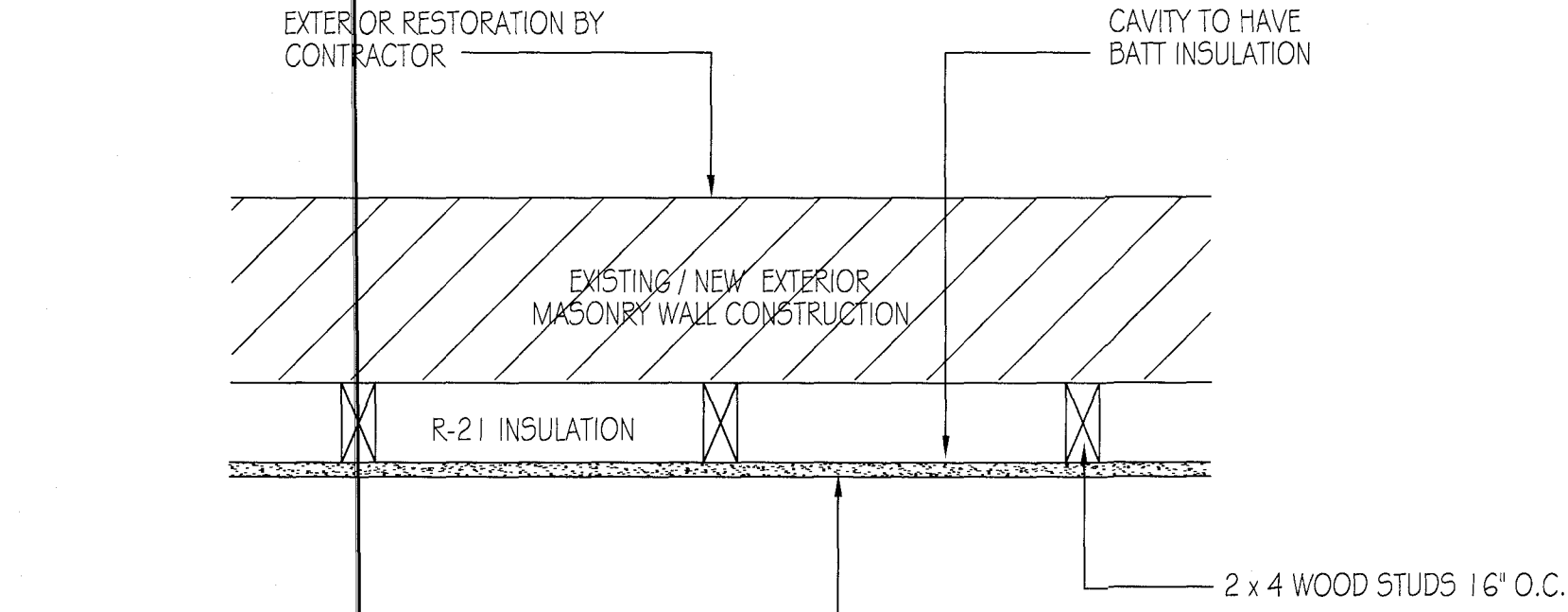
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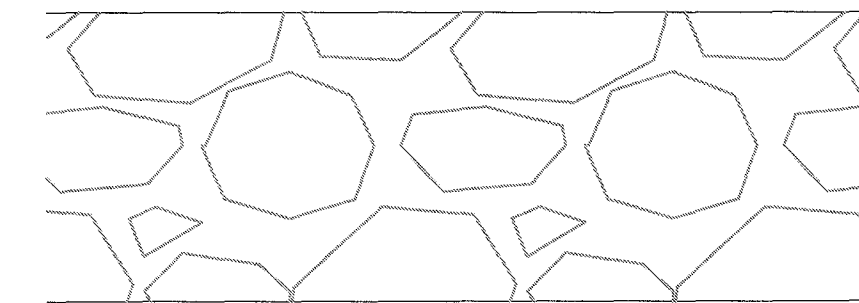
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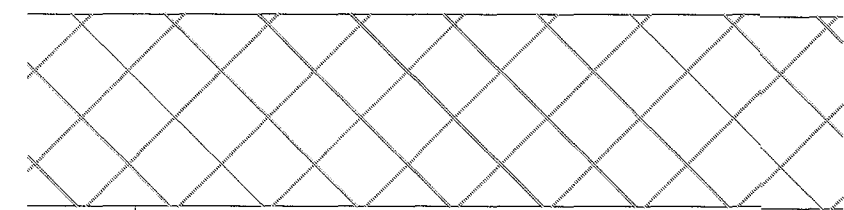
WALL TYPE 2



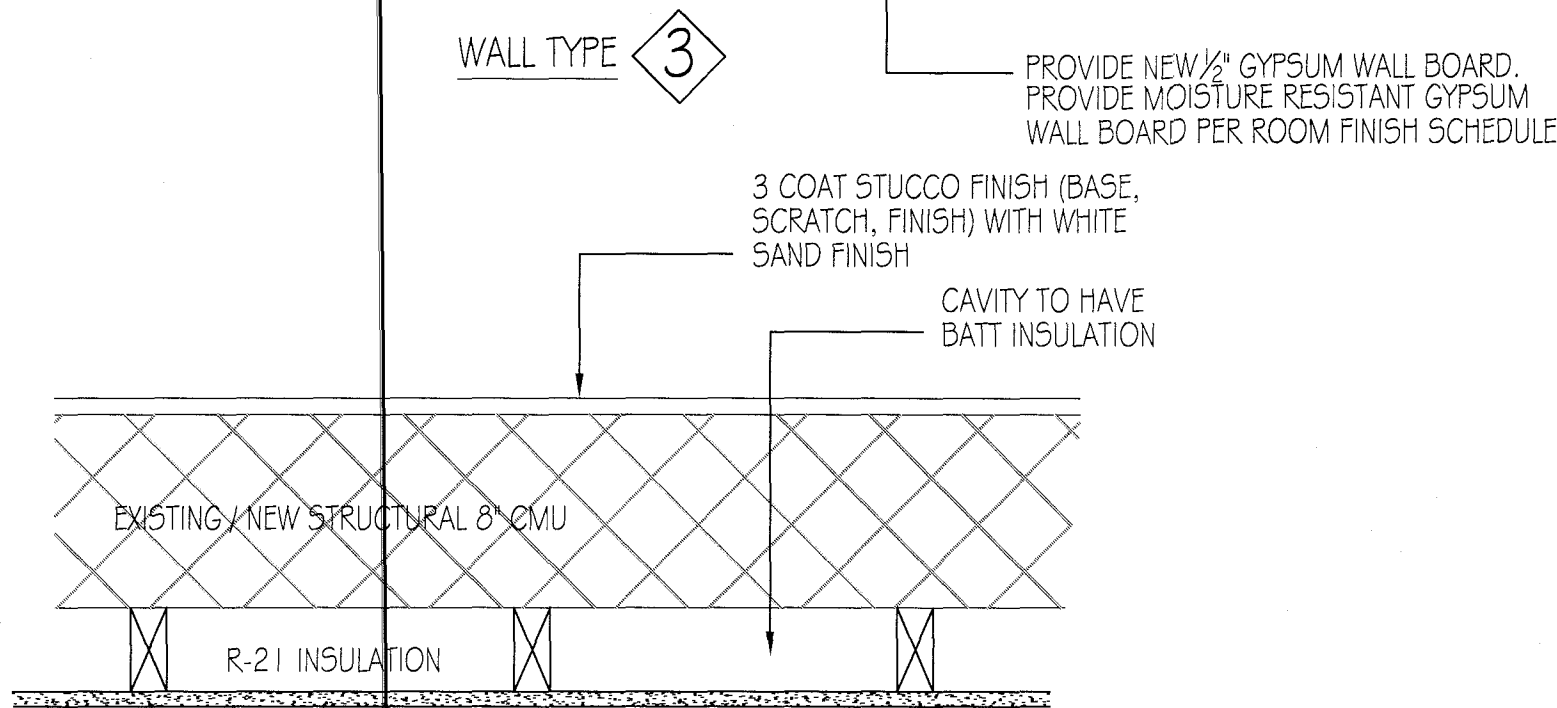
WALL TYPE 3



WALL TYPE 4



WALL TYPE 4A

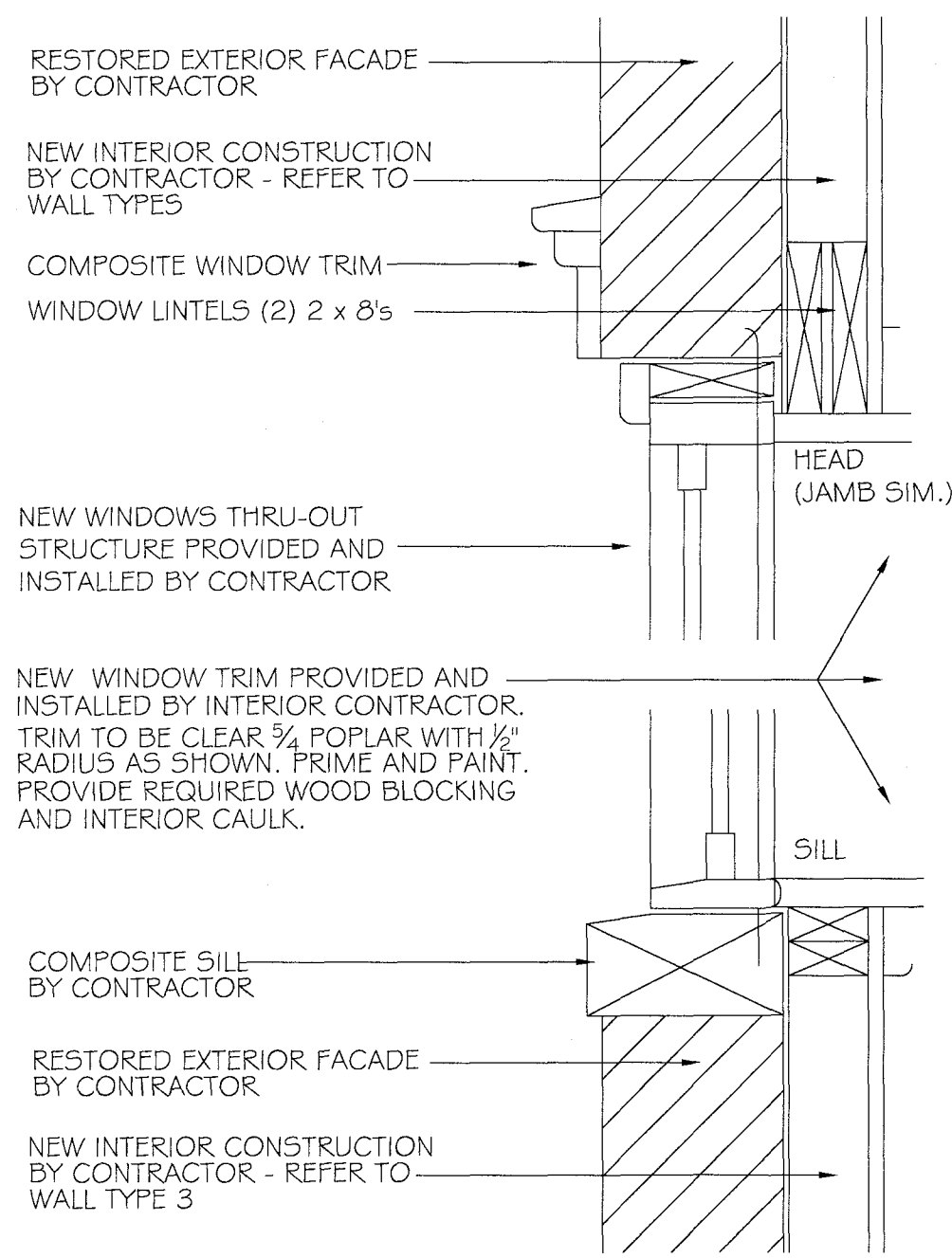


WALL TYPE 5

### ROOM FINISH SCHEDULE NOTES:

AT MUD ROOM, KITCHEN, HALF BATH, FULL BATHS  
PROVIDE MOISTURE RESISTANT GYPSUM WALL BOARD  
WITH MOISTURE RESISTANT PRIMER AND PAINT

PRIME AND PAINT ALL GYPSUM WALL BOARD TO A LEVEL 4 FINISH.



1 WINDOW DETAIL  
SCALE: 1/2" = 1'-0"

### ROOM FINISH SCHEDULE

	ROOM	FLOOR	BASE	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	CEILING	CEILING HEIGHT	REMARKS
FIRST FLOOR	LIVING ROOM	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	-----	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	9'-0"	ADJACENT CLOSET TO HAVE SAME FINISHES
	DINING ROOM	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	-----	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	9'-0"	
	KITCHEN	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	-----	NEW PAINTED GYPSUM WALL BOARD	9'-0"	
	MUD ROOM	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	VARIES	
	HALF BATH	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	VARIES	
SECOND FLOOR	CORRIDOR	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0"	
	BEDROOM #1	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0"	ADJACENT CLOSET TO HAVE SAME FINISHES
	BEDROOM #2	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0"	ADJACENT CLOSET TO HAVE SAME FINISHES
	FULL BATH	CERAMIC TILE	CERAMIC BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0"	ADJACENT CLOSET TO HAVE SAME FINISHES
THIRD FLOOR	CORRIDOR	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0" +/-	
	MAIN BEDROOM	ENGINEERED WOOD FLOORING	WOOD BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0" +/-	ADJACENT CLOSET TO HAVE SAME FINISHES
	MAIN BATH	CERAMIC TILE	CERAMIC BASE	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	NEW PAINTED GYPSUM WALL BOARD	8'-0" +/-	ADJACENT CLOSET TO HAVE SAME FINISHES

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WILMINGTON, DELAWARE

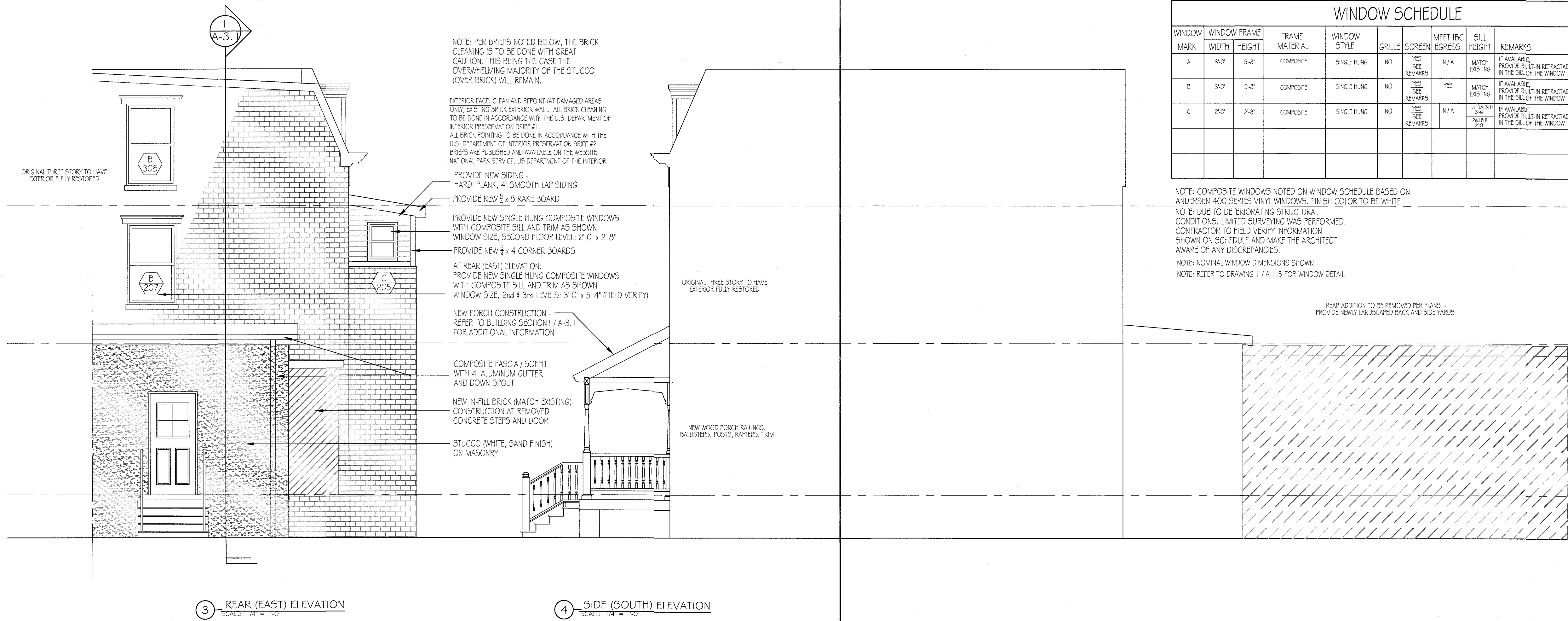
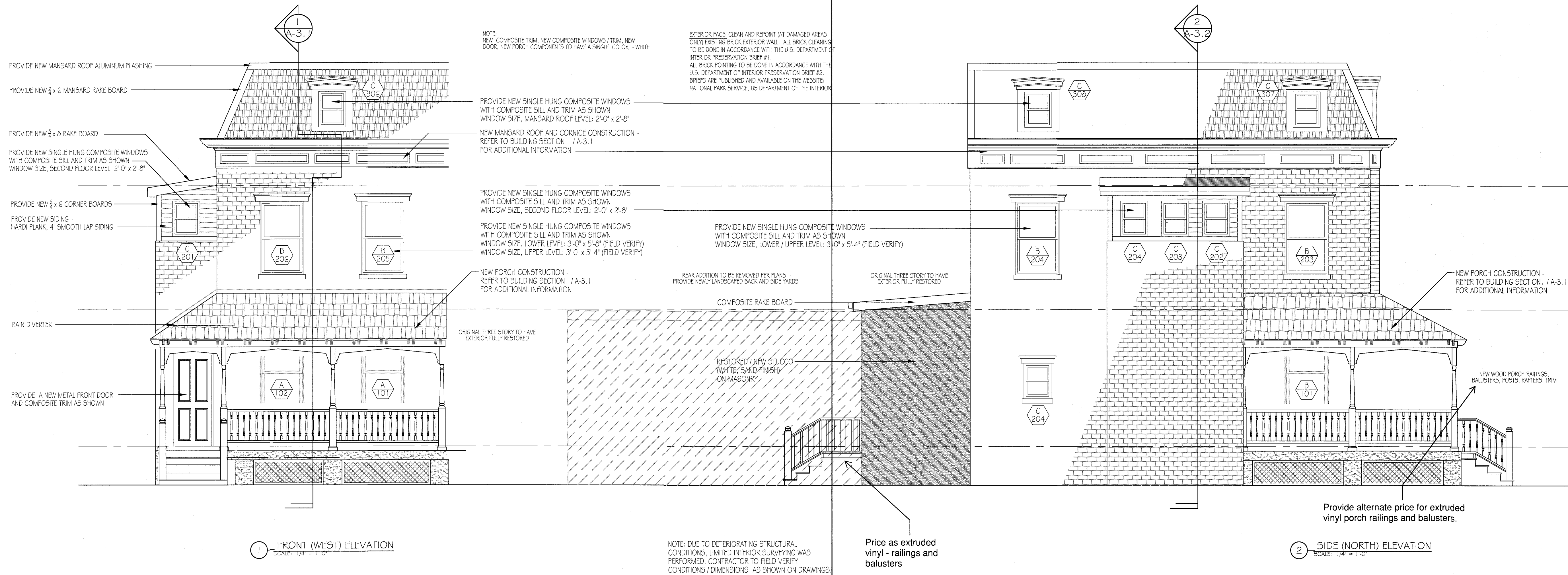
DRAWING NAME:

WALL TYPES / WINDOW DETAIL

Drawn By:	GFL	Checked By:	TTB
Project No:	21.59	Sheet No:	
Date:	NOVEMBER 19, 2021		
Scale:	1/4" = 1'-0"		

A-1.5





WINDOW SCHEDULE									
WINDOW MARK	WINDOW FRAME WIDTH	WINDOW FRAME HEIGHT	FRAME MATERIAL	WINDOW STYLE	GRILLE	SCREEN	MEET IBC EGRESS	SILL HEIGHT	REMARKS
A	3'-0"	5'-8"	COMPOSITE	SINGLE HUNG	NO	YES SEE REMARKS	N/A	MATCH EXISTING	IF AVAILABLE, PROVIDE BUILT-IN RETRACTABLE SCREEN IN THE SILL OF THE WINDOW
B	3'-0"	5'-8"	COMPOSITE	SINGLE HUNG	NO	YES SEE REMARKS	YES	MATCH EXISTING	IF AVAILABLE, PROVIDE BUILT-IN RETRACTABLE SCREEN IN THE SILL OF THE WINDOW
C	2'-0"	2'-8"	COMPOSITE	SINGLE HUNG	NO	YES SEE REMARKS	N/A	1st FLOOR 3'-0" 2nd FLOOR 2'-0"	IF AVAILABLE, PROVIDE BUILT-IN RETRACTABLE SCREEN IN THE SILL OF THE WINDOW

NOTE: COMPOSITE WINDOWS NOTED ON WINDOW SCHEDULE BASED ON ANDERSEN 400 SERIES VINYL WINDOWS. FINISH COLOR TO BE WHITE.

NOTE: DUE TO DETERIORATING STRUCTURAL CONDITIONS, LIMITED SURVEYING WAS PERFORMED. CONTRACTOR TO FIELD VERIFY INFORMATION SHOWN ON SCHEDULE AND MAKE THE ARCHITECT AWARE OF ANY DISCREPANCIES.

NOTE: NOMINAL WINDOW DIMENSIONS SHOWN.

NOTE: REFER TO DRAWING 1 / A-1.5 FOR WINDOW DETAIL.

Seal:

SIGNATURE: \_\_\_\_\_  
DATE OF SIGNATURE: \_\_\_\_\_  
DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_

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DESIGN # USE OF PROFESSIONAL SEAL

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GENERAL NOTES		
REVISED PER PROJECT MANAGER REVIEW	7-14-22	
REISSUED FOR FINAL REVIEW	5-20-22	
REISSUED FOR FINAL REVIEW	5-19-22	
ISSUED FOR FINAL REVIEW	5-4-22	
No.	Revision/Issue	Date

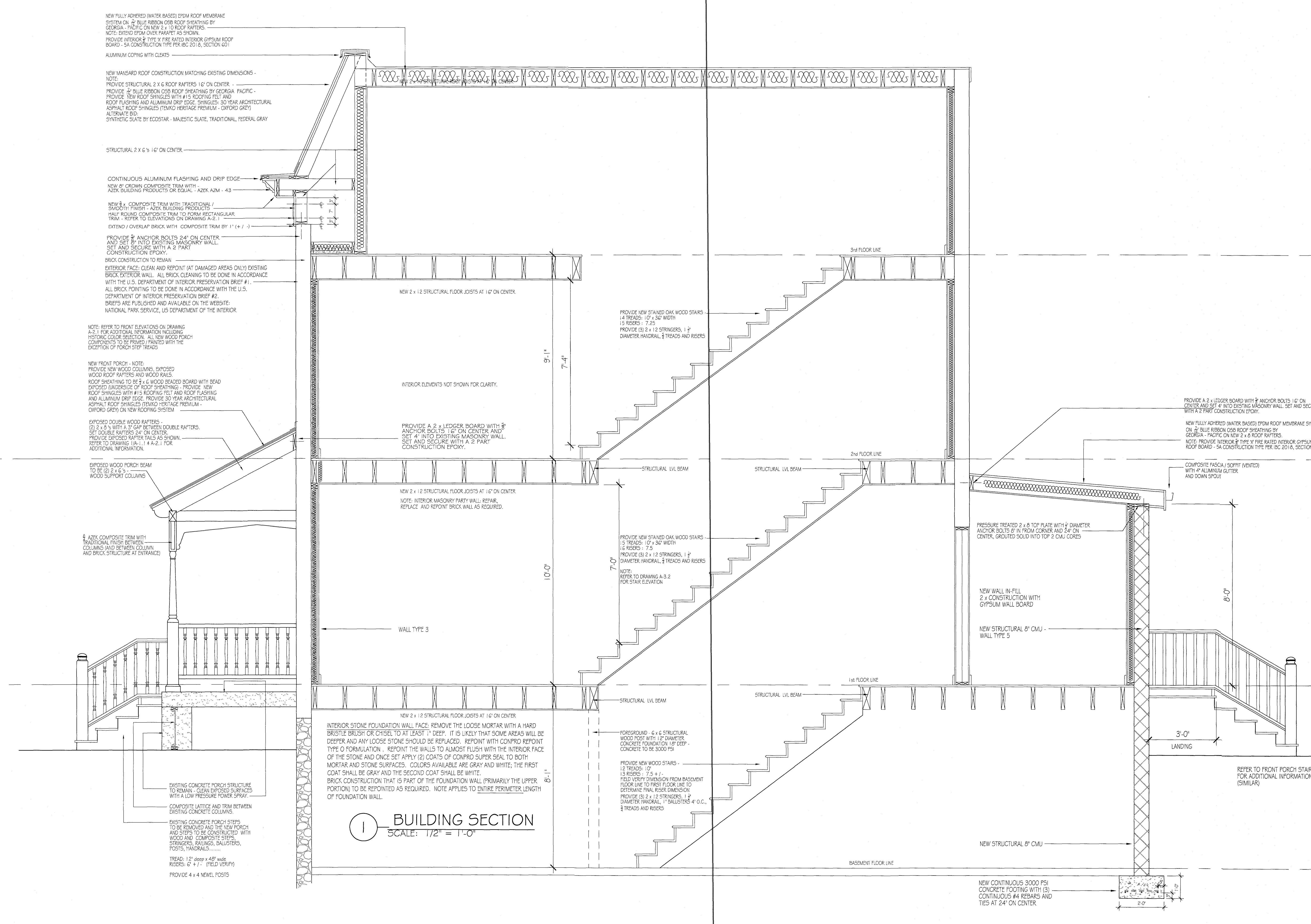
CLIENT NAME & ADDRESS:  
WILMINGTON NEIGHBORHOOD CONSERVANCY LAND BANK  
404 NORTH MARKET STREET  
WILMINGTON, DELAWARE

PROJECT NAME & ADDRESS:  
EXTERIOR RENOVATIONS TO  
1006 NORTH LOMBARD STREET  
WILMINGTON, DELAWARE

DRAWING NAME:  
PROPOSED ELEVATIONS

Drawn By: GFL	Checked By: TTB
Project No: 2159	Sheet No:
Date: NOVEMBER 19, 2021	A-2.1
Scale: 1/4" = 1'-0"	





NEW FULLY ADHERED (WATER BASED) EPDM ROOF MEMBRANE SYSTEM ON 1/2" BLUE RIBBON OSB ROOF SHEATHING BY GEORGIA - PACIFIC ON NEW 2" x 10" ROOF RAFTERS. NOTE: EXTEND EPDM OVER PARAPET AS SHOWN. PROVIDE INTERIOR TYPE X FIRE RATED INTERIOR GYPSUM ROOF BOARD - SA CONSTRUCTION TYPE PER IBC 2018, SECTION 601.

ALUMINUM COPING WITH GLEATS

NEW MANSARD ROOF CONSTRUCTION MATCHING EXISTING DIMENSIONS - NOTE: PROVIDE STRUCTURAL 2" x 6" ROOF RAFTERS 1' 6" ON CENTER - PROVIDE 1/2" BLUE RIBBON OSB ROOF SHEATHING BY GEORGIA - PACIFIC - PROVIDE NEW ROOF SHINGLES WITH #15 ROOFING FELT AND ROOF FLASHING AND ALUMINUM DRIP EDGE. SHINGLES: 30 YEAR ARCHITECTURAL ASPHALT ROOF SHINGLES (TEMKO HERITAGE PREMIUM - OXFORD GREY) ALTERNATE BID: SYNTHETIC SLATE BY ECOSTAR - MAJESTIC SLATE, TRADITIONAL, FEDERAL GRAY

STRUCTURAL 2" x 6" 1' 6" ON CENTER

CONTINUOUS ALUMINUM FLASHING AND DRIP EDGE - NEW 8" CROWN COMPOSITE TRIM WITH AZEK BUILDING PRODUCTS OR EQUAL - AZEK AZM - 43

NEW 3/4" x 1/2" COMPOSITE TRIM WITH TRADITIONAL / SMOOTH FINISH - AZEK BUILDING PRODUCTS - HALF ROUND COMPOSITE TRIM TO FORM RECTANGULAR TRIM - REFER TO ELEVATIONS ON DRAWING A-2.1 - EXTEND / OVERLAP BRICK WITH COMPOSITE TRIM BY 1" (+ / -)

PROVIDE 3/4" ANCHOR BOLTS 24" ON CENTER AND SET 8" INTO EXISTING MASONRY WALL. SET AND SECURE WITH A 2 PART CONSTRUCTION EPOXY.

BRICK CONSTRUCTION TO REMAIN

EXTERIOR FACE: CLEAN AND REPOINT (AT DAMAGED AREAS ONLY) EXISTING BRICK EXTERIOR WALL. ALL BRICK CLEANING TO BE DONE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF INTERIOR PRESERVATION BRIEF #1. ALL BRICK POINTING TO BE DONE IN ACCORDANCE WITH THE U.S. DEPARTMENT OF INTERIOR PRESERVATION BRIEF #2. BRIEFS ARE PUBLISHED AND AVAILABLE ON THE WEBSITE: NATIONAL PARK SERVICE, US DEPARTMENT OF THE INTERIOR

NOTE: REFER TO FRONT ELEVATIONS ON DRAWING A-2.1 FOR ADDITIONAL INFORMATION INCLUDING HISTORIC COLOR SELECTION. ALL NEW WOOD PORCH COMPONENTS TO BE PRIMED / PAINTED WITH THE EXCEPTION OF PORCH STEP TREADS

NEW FRONT PORCH - NOTE: PROVIDE NEW WOOD COLUMNS, DROPPED WOOD ROOF RAFTERS AND WOOD RAFTERS. ROOF SHEATHING TO BE 2" x 6" WOOD BEADED BOARD WITH BEAD DROPPED (UNDERSIDE OF ROOF SHEATHING) - PROVIDE NEW ROOF SHINGLES WITH #15 ROOFING FELT AND ROOF FLASHING AND ALUMINUM DRIP EDGE. PROVIDE 30 YEAR ARCHITECTURAL ASPHALT ROOF SHINGLES (TEMKO HERITAGE PREMIUM - OXFORD GREY) ON NEW ROOFING SYSTEM

EXPOSED DOUBLE WOOD RAFTERS - (2) 2" x 6" WITH 1/2" GIP BETWEEN DOUBLE RAFTERS. SET DOUBLE RAFTERS 24" ON CENTER. PROVIDE EXPOSED RAFTER TAILS AS SHOWN. REFER TO DRAWING A-1.1 & A-2.1 FOR ADDITIONAL INFORMATION

EXPOSED WOOD PORCH BEAM TO BE (2) 2" x 6" - WOOD SUPPORT COLUMNS

4" AZEK COMPOSITE TRIM WITH TRADITIONAL FINISH BETWEEN COLUMNS (AND BETWEEN COLUMN AND BRICK STRUCTURE AT ENTRANCE)

EXISTING CONCRETE PORCH STRUCTURE TO REMAIN - CLEAN EXPOSED SURFACES WITH A LOW PRESSURE POWER SPRAY.

COMPOSITE LATTICE AND TRIM BETWEEN EXISTING CONCRETE COLUMNS.

EXISTING CONCRETE PORCH STEPS TO BE REMOVED AND THE NEW PORCH AND STEPS TO BE CONSTRUCTED WITH WOOD AND COMPOSITE STEPS, STRINGERS, RAILINGS, BALUSTERS, POSTS, HANDRAILS.

TREAD: 12" deep x 48" wide. RISERS: 6" (+ / -) (FIELD VERIFY)

PROVIDE 4 x 4 NEWEL POSTS

INTERIOR STONE FOUNDATION WALL FACE: REMOVE THE LOOSE MORTAR WITH A HARD BRISTLE BRUSH OR CHISEL TO AT LEAST 1" DEEP. IT IS LIKELY THAT SOME AREAS WILL BE DEEPER AND ANY LOOSE STONE SHOULD BE REPLACED. REPOINT WITH CONPRO REPOINT TYPE O FORMULATION. REPOINT THE WALLS TO ALMOST FLUSH WITH THE INTERIOR FACE OF THE STONE AND ONCE SET APPLY (2) COATS OF CONPRO SUPER SEAL TO BOTH MORTAR AND STONE SURFACES. COLORS AVAILABLE ARE GRAY AND WHITE; THE FIRST COAT SHALL BE GRAY AND THE SECOND COAT SHALL BE WHITE. BRICK CONSTRUCTION THAT IS PART OF THE FOUNDATION WALL (PRIMARILY THE UPPER PORTION) TO BE REPOINTED AS REQUIRED. NOTE APPLIES TO ENTIRE PERIMETER LENGTH OF FOUNDATION WALL.

**BUILDING SECTION**  
SCALE: 1/2" = 1'-0"

Seal:

SIGNATURE: \_\_\_\_\_  
DATE OF SIGNATURE: \_\_\_\_\_  
DATE OF REGISTRATION EXPIRATION: \_\_\_\_\_

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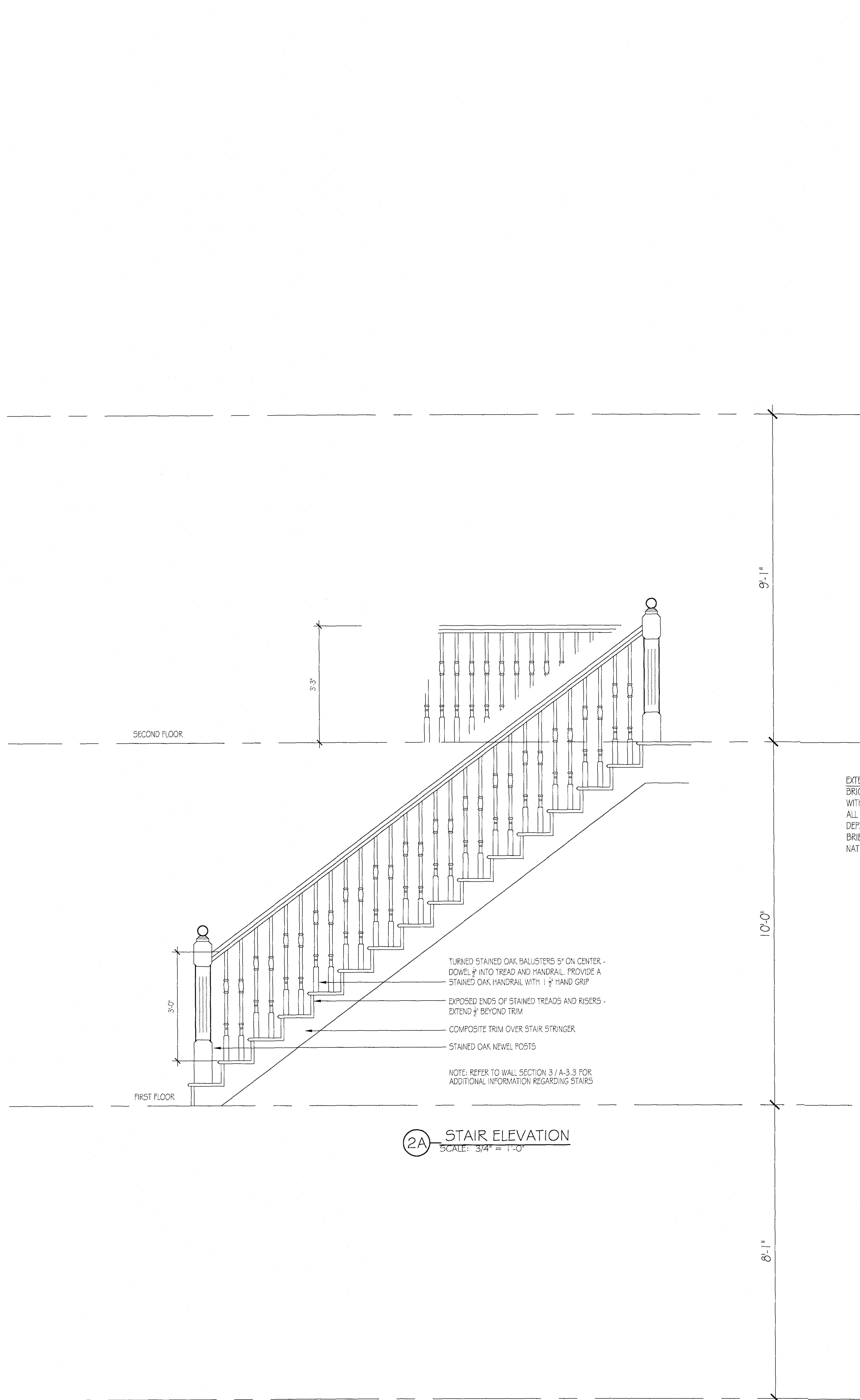
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404 NORTH MARKET STREET  
WILMINGTON, DELAWARE

PROJECT NAME & ADDRESS:  
EXTERIOR RENOVATIONS TO  
1006 NORTH LOMBARD STREET  
WILMINGTON, DELAWARE

DRAWING NAME:  
BUILDING SECTION

Drawn By:	GFL	Checked By:	TTB
Project No:	21.59	Sheet No:	A-3.1
Date:	NOVEMBER 19, 2021		
Scale:	1/2" = 1'-0"		



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DATE OF SIGNATURE:

DATE OF REGISTRATION EXPIRATION:

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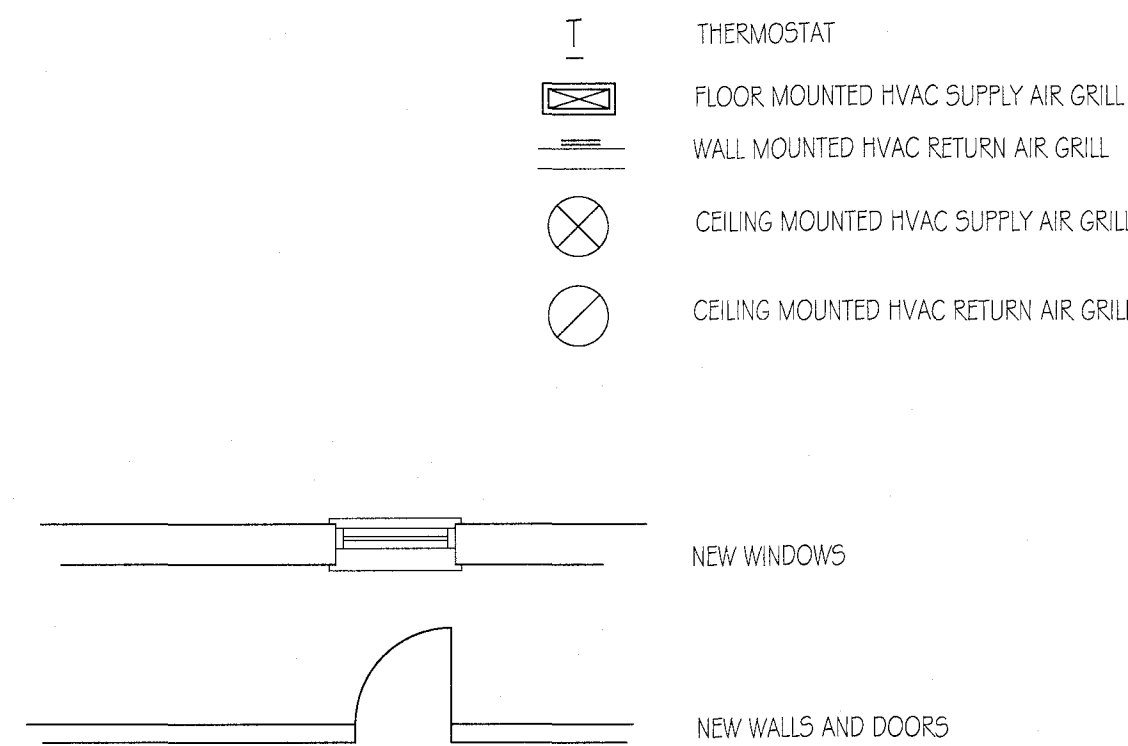
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DRAWING NAME:  
BUILDING SECTION

Drawn By: GFL	Checked By: TTB
Project No: 21.59	Sheet No:
Date: NOVEMBER 19, 2021	A-3.2
Scale: 1/2" = 1'-0"	

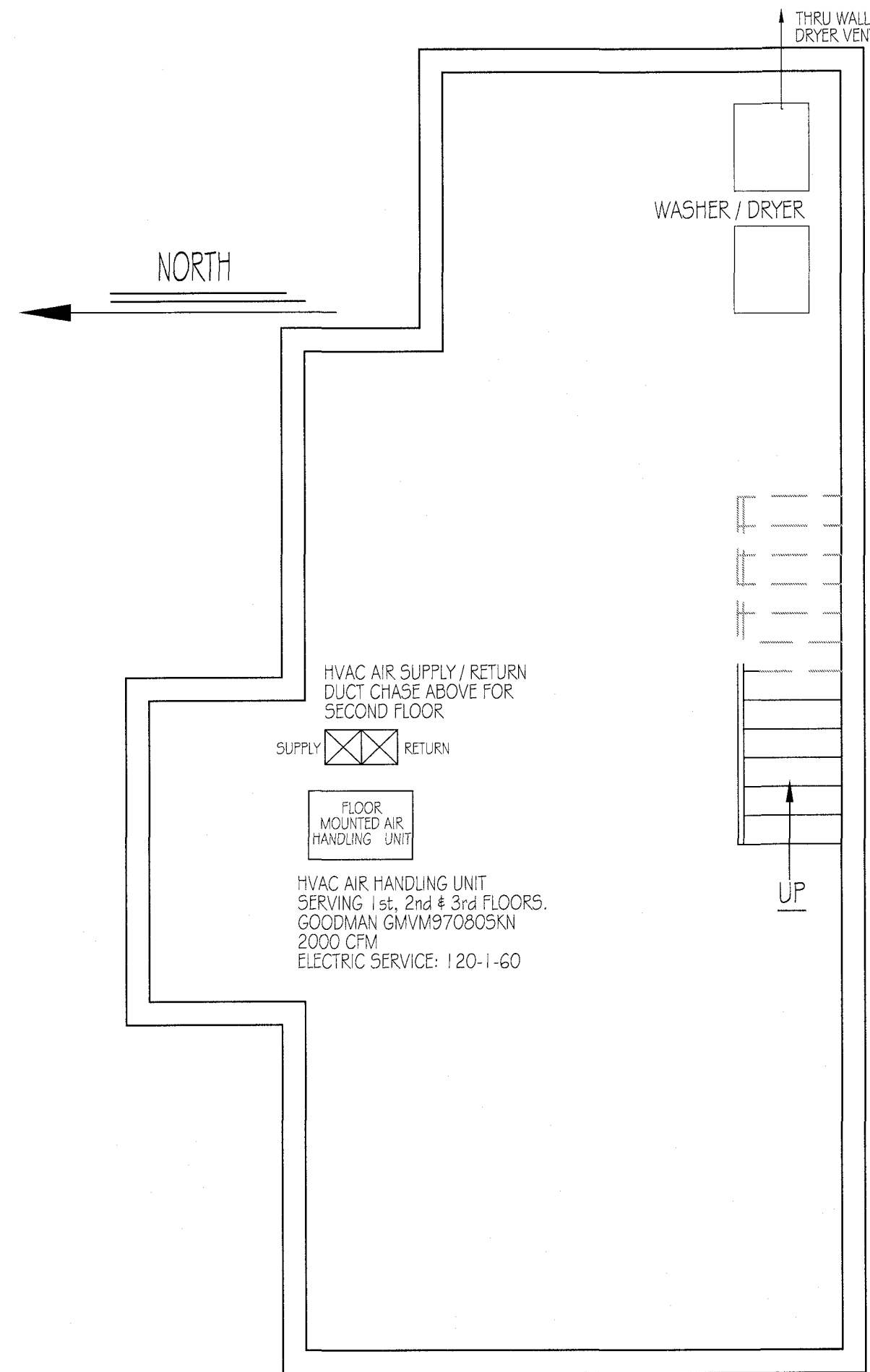


## MECHANICAL PLAN LEGEND

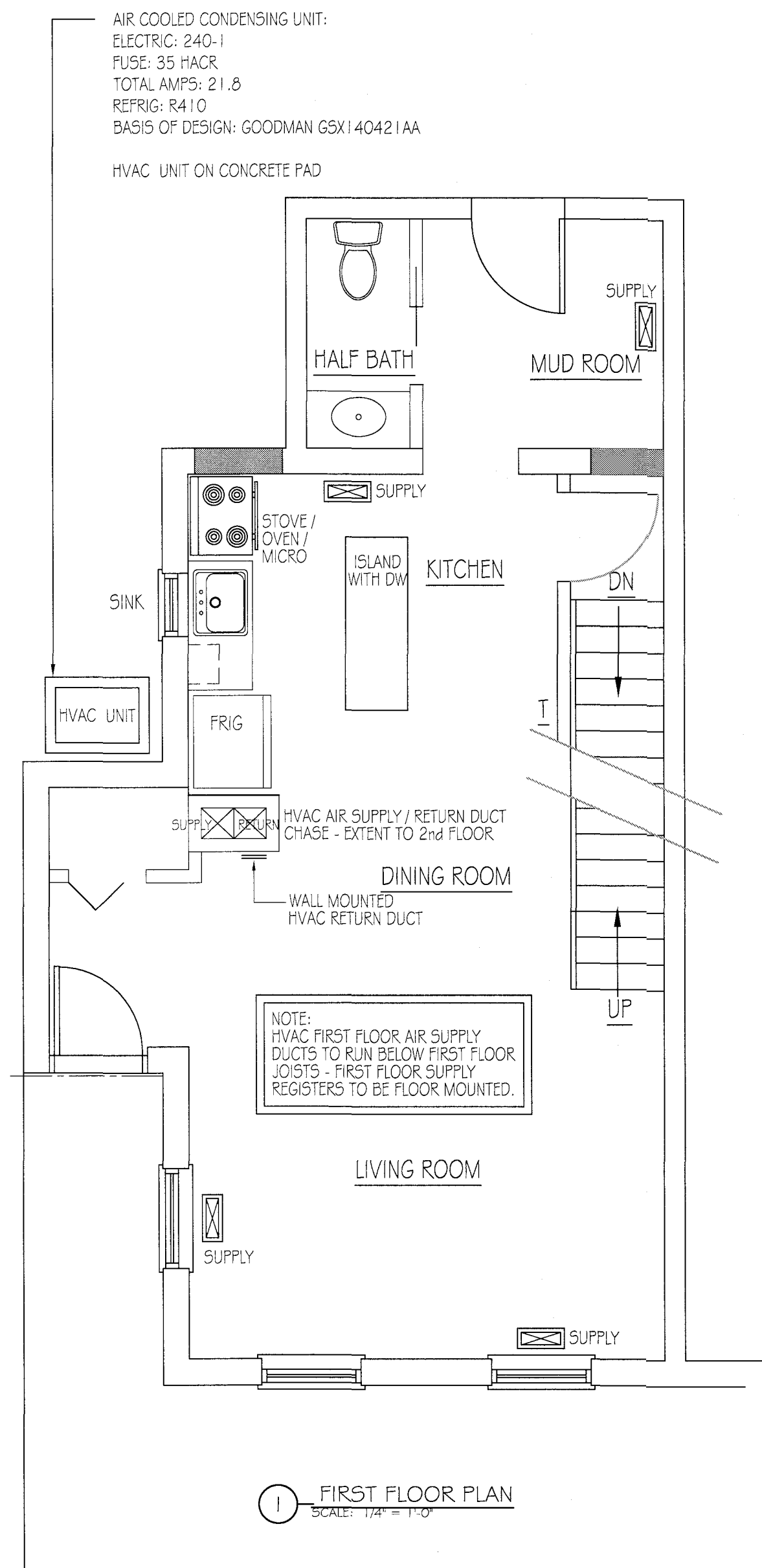


NOTE: CONTRACTOR TO PROVIDE HVAC DUCT RUNS AND SUPPLY / RETURN REGISTERS AS SHOWN ON PLANS. REQUIRED HVAC CHASE TO BE LOCATED PER PLANS. (REFER TO DRAWING A-1.1 FOR ADDITIONAL INFORMATION). DUCT SIZES TO BE DETERMINED BY CONTRACTOR WORKING WITH THE SHOWN CHASES.

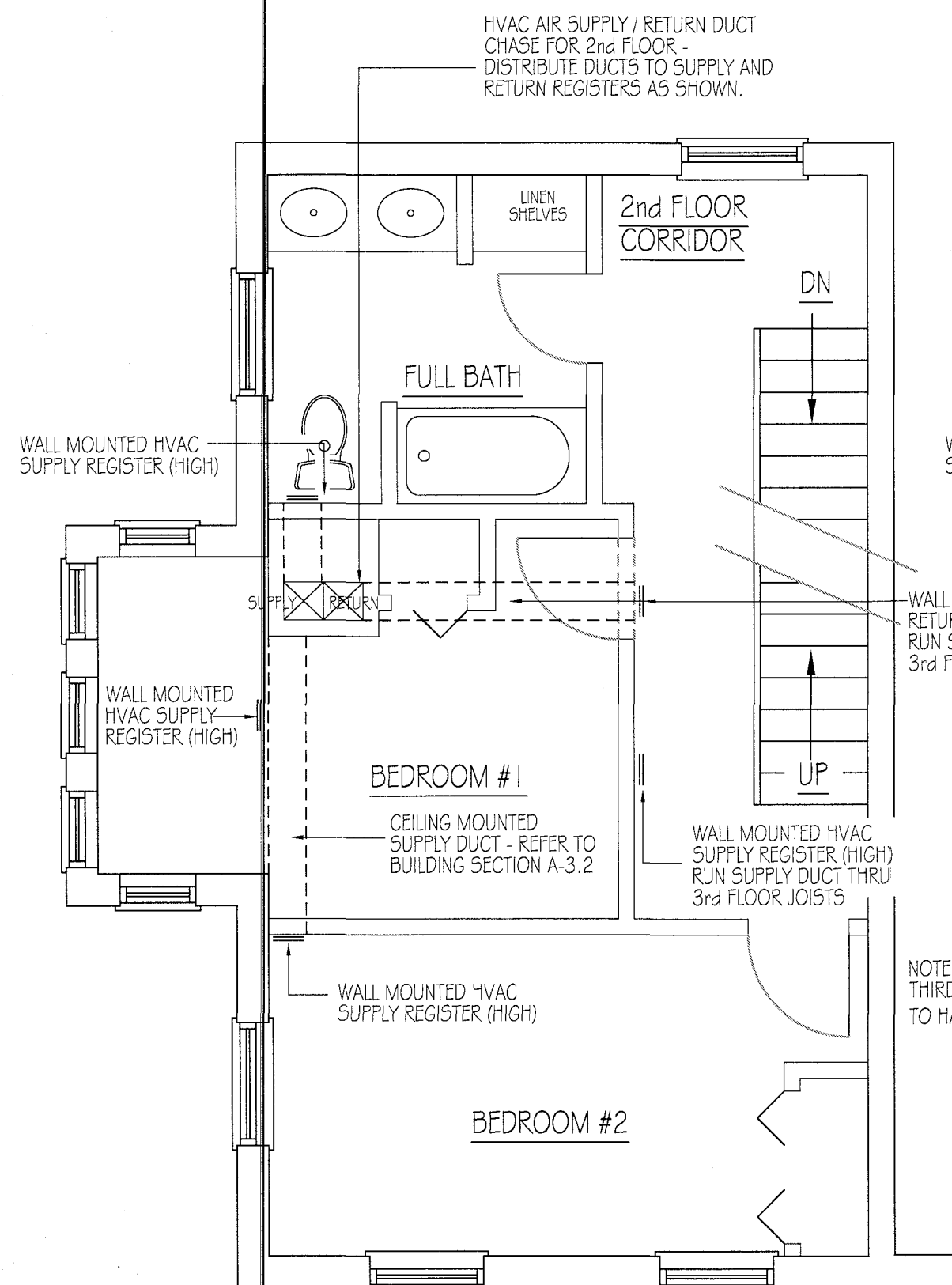
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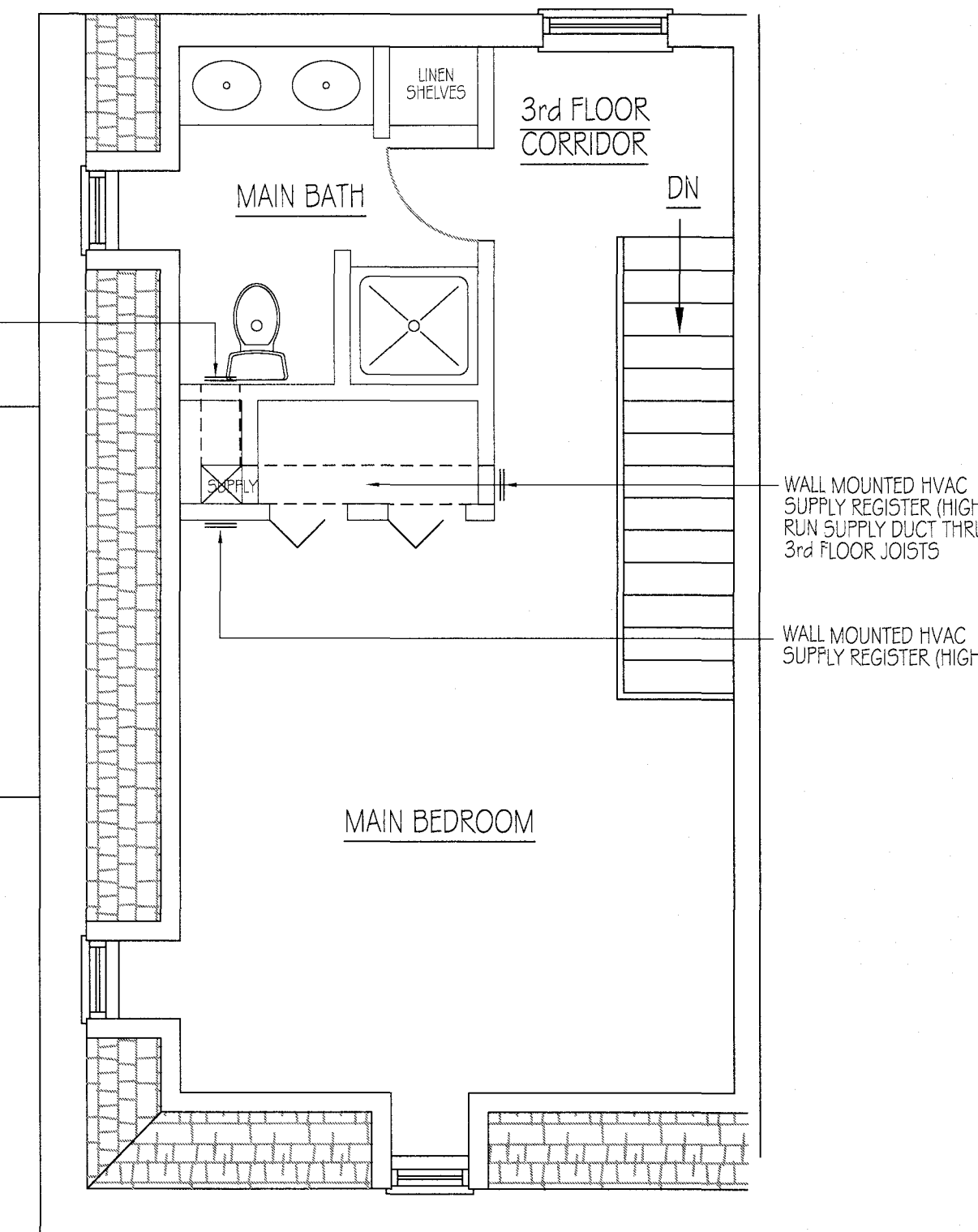
0 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

## MECHANICAL NOTES:

1. CONTRACTOR TO VERIFY ALL CONDITIONS ON SITE PRIOR TO BIDDING AND BEGINNING WORK AND NOTIFY OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL COMPLY ALL LOCAL AND STATE CODES: INTERNATIONAL MECHANICAL CODE, OSHA, NFPA, NEC, COUNTY, ETC.
3. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND INSPECTIONS.
4. CONTRACTOR SHALL OBSERVE OSHA SAFETY STANDARDS AND MAINTAIN AREA CLEAN DAILY.
5. ALL FINAL CONNECTIONS BY THIS CONTRACTOR TO ALL EQUIPMENT.
6. ALL INTERIOR RECTANGULAR DUCTWORK TO BE GALVANIZED SHEET METAL IN ACCORD. WITH SMACNA DUCT CONSTRUCTION STANDARDS, 1/2" W.G.
7. DUCTWORK SHALL BE FABRICATED AND BRACED IN ACCORDANCE WITH ASHRAE AND SMACNA STANDARDS.
8. ALL DUCTWORK SHALL COMPLY WITH NFPA 90A.
9. SUPPLY DUCTWORK SHALL BE INSULATED 1" THICK FIBERGLASS WITH VAPOR BARRIER, 25/50 FIRE HAZARD RATING, SEALED SEAMS.
10. FURNISH AND INSTALL ALL CONTROL WIRING FOR OPERATION OF EQUIPMENT.
11. PROVIDE FOR FLEXIBLE CONNECTIONS AT EQUIPMENT.
12. INSTALL ALL DUCTWORK AS HIGH AS POSSIBLE.
13. PROVIDE SHOP DRAWINGS OF ALL EQUIPMENT FOR REVIEW PRIOR TO ORDERING.
14. PROPER FIRE PROTECTION MEASURES SHALL BE ENFORCED AT ALL TIMES.
15. CONTRACTOR TO COORDINATE DUCTWORK WITH CEILING HEIGHT AND EXISTING STRUCTURAL.
16. ALL WALL AND ROOF PENETRATIONS BY THIS CONTRACTOR. OPENINGS SHALL BE FLASHED, COUNTERFLASHED AND SEALED WEATHERTIGHT AND WATERPROOF.
19. CONTRACTOR SHALL PROVIDE, IN WRITING, A ONE (1) YEAR GUARANTEE AND WARRANTY ON ALL MATERIAL, EQUIPMENT AND WORKMANSHIP. ANY DEFECTS WILL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.
20. ALL MECHANICAL EQUIPMENT AND APPLIANCES SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY. ALL EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
21. ALL EQUIPMENT SHALL BE IN STRICT ACCORDANCE WITH ASHRAE STANDARD 62-1989 AS PER INDOOR AIR QUALITY CONSTRUCTION OF EQUIPMENT STANDARDS.
22. ALL LOCAL AND EXHAUST FANS MUST BE A MINIMUM OF 10'-0" AWAY FROM OUT DOOR AIR INTAKES PER INTERNATIONAL MECHANICAL CODE, 401.5
23. EQUIPMENT MANUFACTURES NAMES & MODEL NUMBERS ARE SHOWN FOR BASIS OF DESIGN.
24. PROVIDE FIRE STOPPING AT ALL FIRE WALL PENETRATIONS. SEE ARCHITECTURAL DRAWINGS FOR FIRE WALL LOCATIONS.
25. CONTRACTOR SHALL BALANCE ALL AIR SYSTEMS PER NEBB.
26. ALL APPURTENANCES REQUIRED FOR A COMPLETE AND OPERATING SYSTEM ARE NOT SHOWN. CONTRACTOR TO PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE OPERATING SYSTEM. CONTRACTOR TO CONTACT ARCHITECT/ENGINEER IN WRITING, PRIOR TO BIDDING FOR CLARIFICATIONS OF DISCREPANCIES OR OMISSIONS OF DESIGN DOCUMENTS.

Seal:

SIGNATURE: \_\_\_\_\_  
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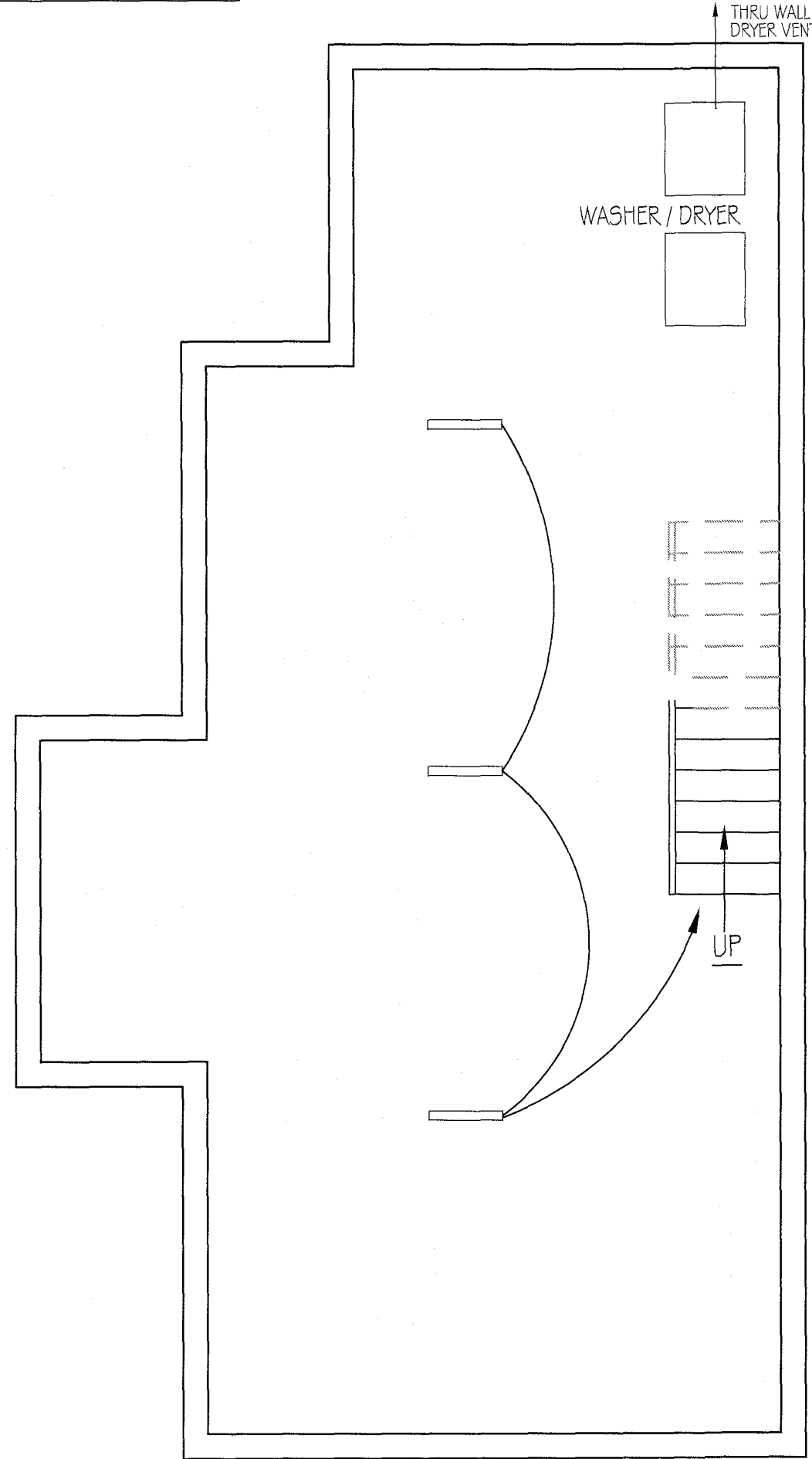
DRAWING NAME:  
HVAC PLANS

Drawn By:	GFL	Checked By:	TTB
Project No:	21.59	Sheet No:	M-1.1
Date:	NOVEMBER 19, 2021		
Scale:	1/4" = 1'-0"		

NORTH LOMBARD STREET

LIGHTING / SWITCHING LEGEND	
	EXTERIOR MOTION-TRIGGERED LED LIGHT FIXTURE WITH TIMER
	EXTERIOR WALL-MOUNTED LED PENDANT LIGHT FIXTURE
	LED FLUSH-MOUNTED RECESSED 6" LIGHT
	RESIDENTIAL VARIABLE SPEED CEILING FAN / LED LIGHT
	FAN / LED LIGHT COMBINATION (NU TONE 80 CFM)
	WALL-MOUNTED STRIP LED PENDANT LIGHT FIXTURE
	CEILING-MOUNTED FLUORESCENT LIGHT FIXTURE
	20A, 120-277V AC, SINGLE TOGGLE SWITCH. SWITCH MOUNTING HEIGHT = 48" ABOVE FINISH FLOOR TO CENTER
	20A, 120-277V AC, THREE-WAY TOGGLE SWITCH. SWITCH MOUNTING HEIGHT = 48" ABOVE FINISH FLOOR TO CENTER
	20A, 120-277V AC, SINGLE DIMMING SWITCH. SWITCH MOUNTING HEIGHT = 48" ABOVE FINISH FLOOR TO CENTER

NOTE: DUE TO DETERIORATING STRUCTURAL CONDITIONS, LIMITED INTERIOR SURVEYING WAS PERFORMED. CONTRACTOR TO FIELD VERIFY CONDITIONS / DIMENSIONS AS SHOWN ON DRAWINGS AND MAKE THE ARCHITECT AWARE OF ANY DISCREPANCIES.



0 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"

#### NOTES:

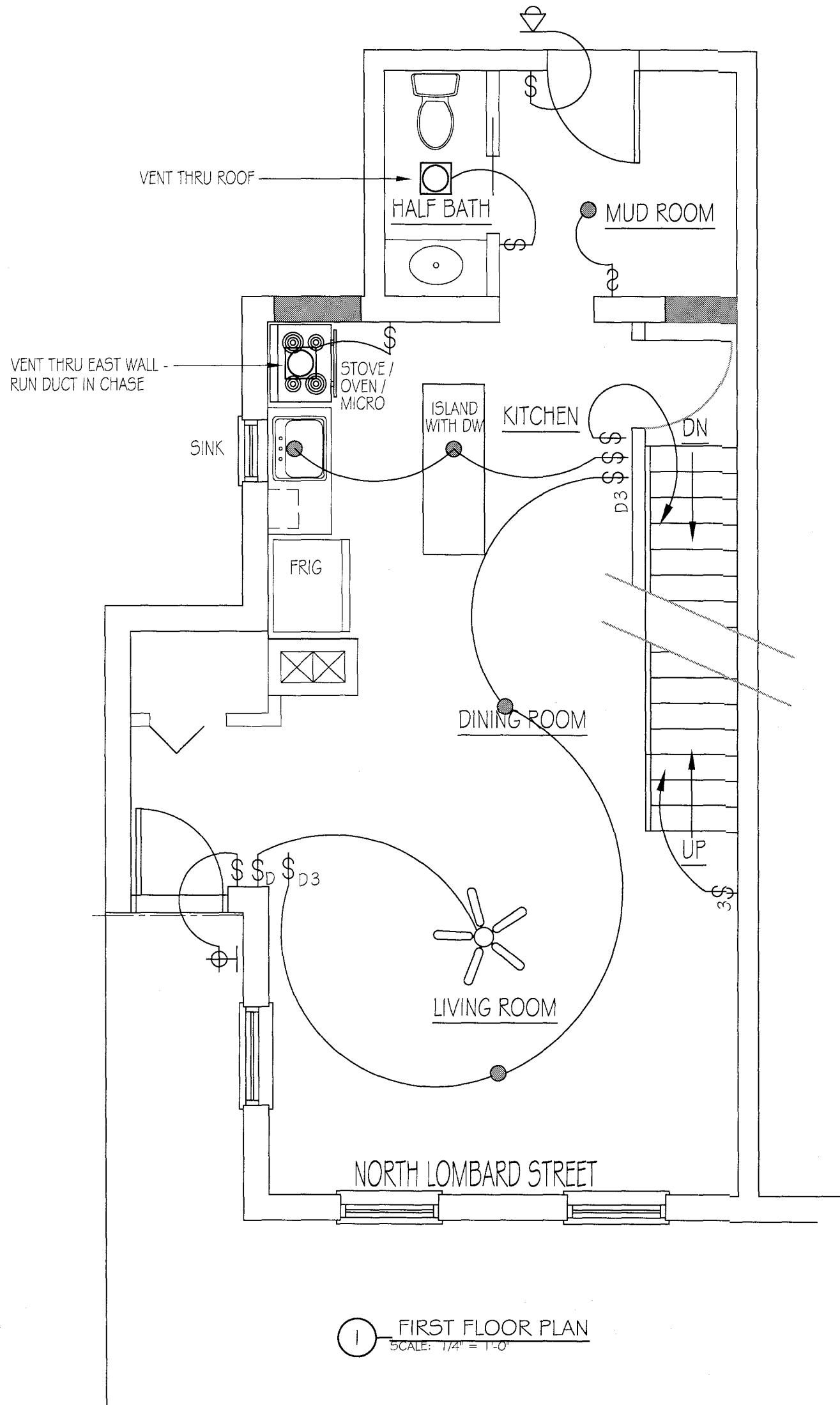
LIVING, STUDIO, BEDROOMS AND CORRIDORS:  
PROVIDE 20A, 120V AC, NEMA 5-20R, DUPLEX RECEPTACLE 12"-0" ON CENTER.  
MOUNTING HEIGHT TO CENTER = 18" ABOVE FINISH FLOOR

KITCHENS AND BATHROOMS:  
PROVIDE 20A, 120V AC, NEMA 5-20R, GROUND FAULT CIRCUIT INTERRUPTER  
DUPLEX RECEPTACLE. MOUNTING HEIGHT = COUNTER HEIGHT  
PROVIDE REQUIRED POWER TO THE REFRIGERATOR. (STOVE TO BE GAS)

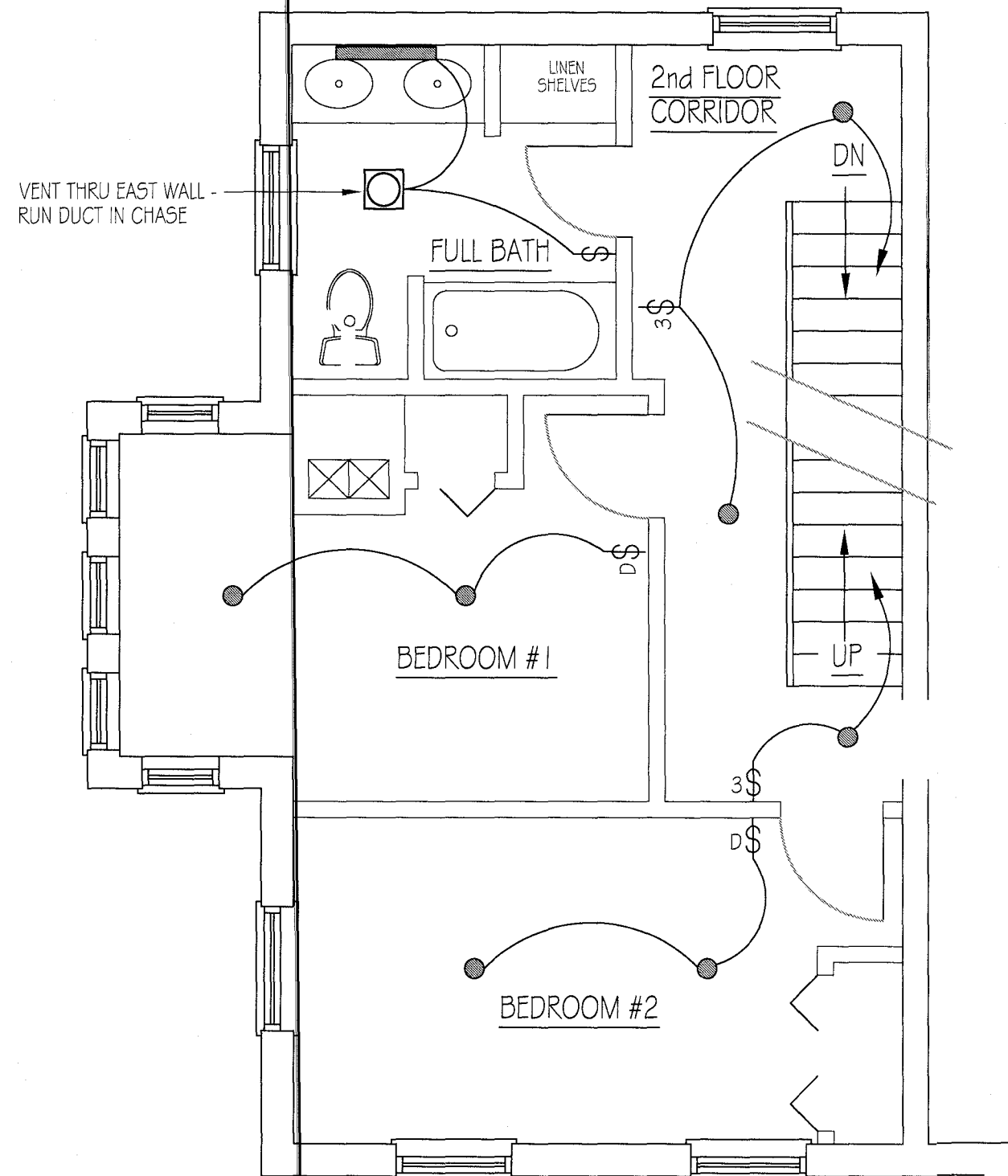
LAUNDRY CLOSETS:  
PROVIDE A GREY BOX WITH GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE.  
(PROVIDE REQUIRED POWER)

EXTERIOR ELECTRICAL OUTLETS (LOCATIONS PER OWNER'S DIRECTION):  
PROVIDE 20A, 120V AC, NEMA 5-20R, GROUND FAULT CIRCUIT INTERRUPTER DUPLEX  
RECEPTACLE WITH WEATHERPROOF COVER. MOUNTING HEIGHT = 18"

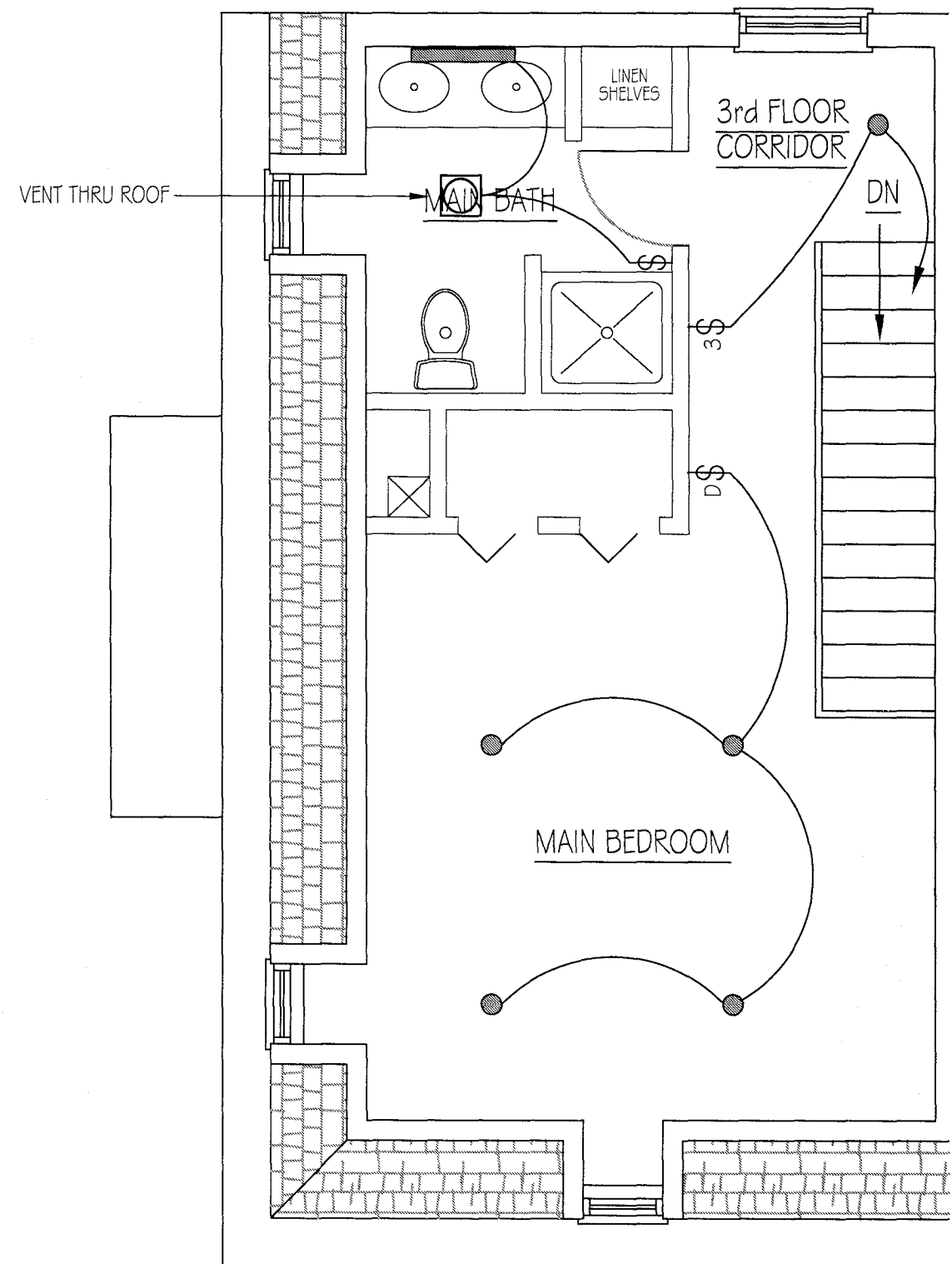
PROVIDE ELECTRICAL POWER PANEL IN BASEMENT ROOM 36" CLEARANCE  
PANEL: 120 / 240 V  
1 Ø  
3 WIRE  
200 AMP BUS  
TOTAL CIRCUITS = 42 (ELECTRICAL CONTRACTOR TO PROVIDE PANEL SCHEDULE)  
PANEL NOT TO HAVE A SURGE PROTECTOR



1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



2 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



3 THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

#### ELECTRICAL NOTES:

- ALL WORK SHALL BE DONE IN A NEAT AND WORKMAN LIKE MANNER AND SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES & INSPECTIONS.
- ALL NEW WORK MAY BE INSPECTED BY THE OWNER.
- UPON COMPLETION OF THE WORK, THE ELECTRICAL CONTRACTOR SHALL DEMONSTRATE THAT THE INSTALLATIONS ARE COMPLETE AND IN PERFECT OPERATING ORDER WITH WIRING FREE FROM GROUNDS OR SHORTS AND WITH EQUIPMENT AND RACEWAYS PROPERLY GROUNDED.
- ALL MATERIAL SHALL BE NEW AND U.L. OR EQUALLY APPROVED.
- THE ELECTRICAL CONTRACTOR SHALL TEST ALL EQUIPMENT AND DEVICES INSTALLED TO THE SATISFACTION OF THE OWNER. RESPONSIBILITY AS TO THE OPERATION OF EQUIPMENT SHALL APPLY ONLY TO THOSE ITEMS FURNISHED BY THE ELECTRICAL CONTRACTOR, BUT THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ACCURATE WIRING AND FOR THE CORRECT CONTROL OF ALL DEVICES.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR AND TEST INSTRUMENTS REQUIRED FOR TESTING ELECTRICAL WORK.
- PROVIDE NAMEPLATES ON CONTROL DEVICES WHICH SHOW THE EQUIPMENT SERVED, VOLTAGE, PHASE AND CIRCUIT NUMBERS.
- CABLE TO BE THHN/THWN COPPER, 600V, 1/C, #12 AWG (MINIMUM) FOR POWER, #14 AWG FOR 120V, CONTROL UNLESS OTHERWISE NOTED.
- UNDERGROUND CONDUIT MAY BE SCHEDULE 40 PVC. ALL FEEDERS TO PANELS AND EQUIPMENT SHALL BE IN ELECTRICAL METALLIC TUBING (EMT).
- CONTRACTOR SHALL INSTALL EQUIPMENT GROUNDING SYSTEM CONNECTING NON-CURRENT CARRYING METAL PARTS OF WIRING SYSTEM TO THE GROUND.
- TAG ALL WIRES AT PANEL BOARDS AND JUNCTION BOXES WITH FIBER OR PLASTIC TAGS.
- ALL GROUNDING SHALL BE IN STRICT COMPLIANCE WITH THE LATEST OSHA AND NEC REQUIREMENTS. ALL CONDUIT CONNECTIONS MUST BE TIGHT TO MAINTAIN A GROUND PATH.
- ALL CIRCUITS FOR POWER AND LIGHTING SHALL HAVE GROUND CONDUCTOR FOR EQUIPMENT GROUNDING.
- ELECTRICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL FIXTURES AND EQUIPMENT.
- SUBMIT TO THE OWNER, CERTIFICATES OF FINAL INSPECTION AND APPROVAL IN DUPLICATE FROM APPROVED INSPECTION AGENCY UPON COMPLETION OF THE WORK.
- PRIOR TO THE FINAL ACCEPTANCE OF THE WORK, SUBMIT A WRITTEN STATEMENT TO THE OWNER GUARANTEEING ALL EQUIPMENT AND SYSTEMS AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR ONE YEAR FROM DATE OF ACCEPTANCE. UPON WRITTEN NOTICE AND AT NO EXPENSE TO THE OWNER, PROMPTLY REPAIR AND OR REPLACE ALL DEFECTIVE MATERIALS.
- CONTRACT DRAWINGS ARE ESSENTIALLY SCHEMATIC. CONTRACTOR SHALL VERIFY LOCATION AND DETAIL INFORMATION PRIOR TO ROUGHING IN.
- VERIFY ALL CEILING CONSTRUCTION PRIOR TO ROUGHING IN.
- CONTRACTOR SHALL VERIFY EXACT ELECTRICAL CHARACTERISTICS OF ALL EQUIPMENT TO BE WIRED.
- ON LIGHTING AND RECEPTACLE CIRCUITS, CONTRACTOR MAY USE METAL CLAD CABLE TYPE MC WHERE ALLOWED BY APPLICABLE CODES.
- PROVIDE TELEPHONE JACK AND CONDUIT TO ABOVE CEILING FOR TELEPHONE ROUGH-IN. MINIMUM CONDUIT SIZE TO BE 3/4".
- CONTRACTOR SHALL OBSERVE OSHA SAFETY STANDARDS AND MAINTAIN AREA CLEAN DAILY.
- ALL WALL AND ROOF PENETRATIONS BY THIS CONTRACTOR. OPENINGS SHALL BE FLASHED, COUNTER FLASHED AND SEALED WEATHER TIGHT AND WATER PROOF.
- PROVIDE A COMPLETE AND OPERATING FIRE DETECTION SYSTEM IN ACCORDANCE WITH THE LATEST BOCA AND/OR NFPA 101 REQUIREMENTS FOR THE SPECIFIC TYPE OF BUILDING AND USE.
- PROVIDE ALL REQUIRED MOTOR STARTING, DISCONNECTING AND CONTROL EQUIPMENT FOR EACH ITEM OF MOTOR OPERATED MECHANICAL SYSTEM EQUIPMENT COMPLETE WITH NECESSARY SHORT CIRCUIT AND OVERLOAD PROTECTION. THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL CONTRACTORS FOR SCOPE OF WORK INVOLVED.
- PROVIDE ALL NECESSARY ELECTRICAL WORK FOR EACH ITEM OF ELECTRICALLY OPERATED EQUIPMENT FURNISHED BY THE OWNER OR OTHER CONTRACTORS.
- ALL SAFETY AND DISCONNECT SWITCHES SHALL BE HEAVY DUTY CONSTRUCTION AND OF VOLTAGE AND AMPERE RATING TO SUIT EACH FUNCTION.
- ALL PANELBOARDS TO BE CIRCUIT BREAKER TYPE OF VOLTAGE CHARACTERISTICS AND AMPACITY RATING TO SUIT EACH APPLICATION. MINIMUM SERIES SHORT CIRCUIT RATING TO BE 10,000 AMPERES, RMS, U.L. SYMMETRICAL. ALL BUS BARS ARE TO BE COPPER. ALL CIRCUIT BREAKERS TO BE BOLT-ON.
- FIRE ALARM SYSTEM DESIGN TO BE BY AN APPROVED AND CERTIFIED SYSTEM VENDOR OR CONTRACTOR AND INSTALLED IN ACCORDANCE WITH N.F.P.A. REGULATIONS AND LOCAL FIRE MARSHALL'S OFFICE.
- CONTRACTOR TO SUBMIT SYSTEM DESIGN TO FIRE MARSHALL'S OFFICE FOR APPROVAL UTILIZING THE SYSTEM EQUIPMENT SHOWN AS A GUIDE ONLY. ALL MODIFICATIONS AND/OR ADDITIONS TO THE SYSTEM REQUIRED BY THE FIRE MARSHALL'S OFFICE SHALL BE A PART OF THIS CONTRACT.
- LOCATE ALL SYSTEM DETECTORS TO SUIT LIGHTING FIXTURES, MECHANICAL SYSTEMS EQUIPMENT AND AIR DIFFUSERS.
- ALL SYSTEM WIRING SHALL BE TYPE APPROVED FOR APPLICATION. ALL SYSTEM WIRING NOT CONCEALED IN BUILDING CONSTRUCTION SHALL BE INSTALLED IN SPECIFIED ELECTRICAL RACEWAYS.
- PROVIDE FIRE STOPPING AT ALL FIRE WALL PENETRATIONS. SEE ARCHITECTURAL DRAWINGS FOR FIRE WALL LOCATIONS.
- ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY FOR THE TYPE OF ELECTRIC SERVICE TO SERVE THIS PROJECT INCLUDING THE LOCATION OF ENERGY RECORDING EQUIPMENT. ALL CHARGES BY THE UTILITY COMPANY TO THE OWNER SHALL BE INCLUDED INTO THE ELECTRICAL CONTRACT. ANY AND ALL DISCREPANCIES BETWEEN THE CONTRACT DESIGN AND THE UTILITY COMPANY'S REQUIREMENTS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION AND NECESSARY ADDENDUMS DURING THE PROJECT BIDDING PERIOD.
- ALL APPURTENANCES REQUIRED FOR A COMPLETE AND OPERATING SYSTEM ARE NOT SHOWN. CONTRACTOR TO PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE OPERATING SYSTEM. CONTRACTOR TO CONTACT ARCHITECT ENGINEER IN WRITING, PRIOR TO BIDDING, FOR CLARIFICATION DISCREPANCIES OR OMISSIONS IN DESIGN DOCUMENTS.

Seal:

SIGNATURE: \_\_\_\_\_  
DATE OF SIGNATURE: \_\_\_\_\_  
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DESIGN & USE OF PROFESSIONAL SEAL

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GENERAL NOTES

REVISED PER PROJECT MANAGER REVIEW	7-14-22
REISSUED FOR FINAL REVIEW	5-20-22
REISSUED FOR FINAL REVIEW	5-19-22
ISSUED FOR FINAL REVIEW	5-4-22
No. Revision/Issue	Date

CLIENT NAME & ADDRESS:  
WILMINGTON NEIGHBORHOOD  
CONSERVANCY LAND BANK  
404 NORTH MARKET STREET  
WILMINGTON, DELAWARE

PROJECT NAME & ADDRESS:  
EXTERIOR RENOVATIONS TO  
1006 NORTH LOMBARD STREET  
WILMINGTON, DELAWARE

DRAWING NAME:  
LIGHTING / ELECTRICAL PLANS

Drawn By: GFL	Checked By: TTB
Project No: 21.59	Sheet No:
Date: NOVEMBER 19, 2021	E-1.1
Scale: 1/4" = 1'-0"	

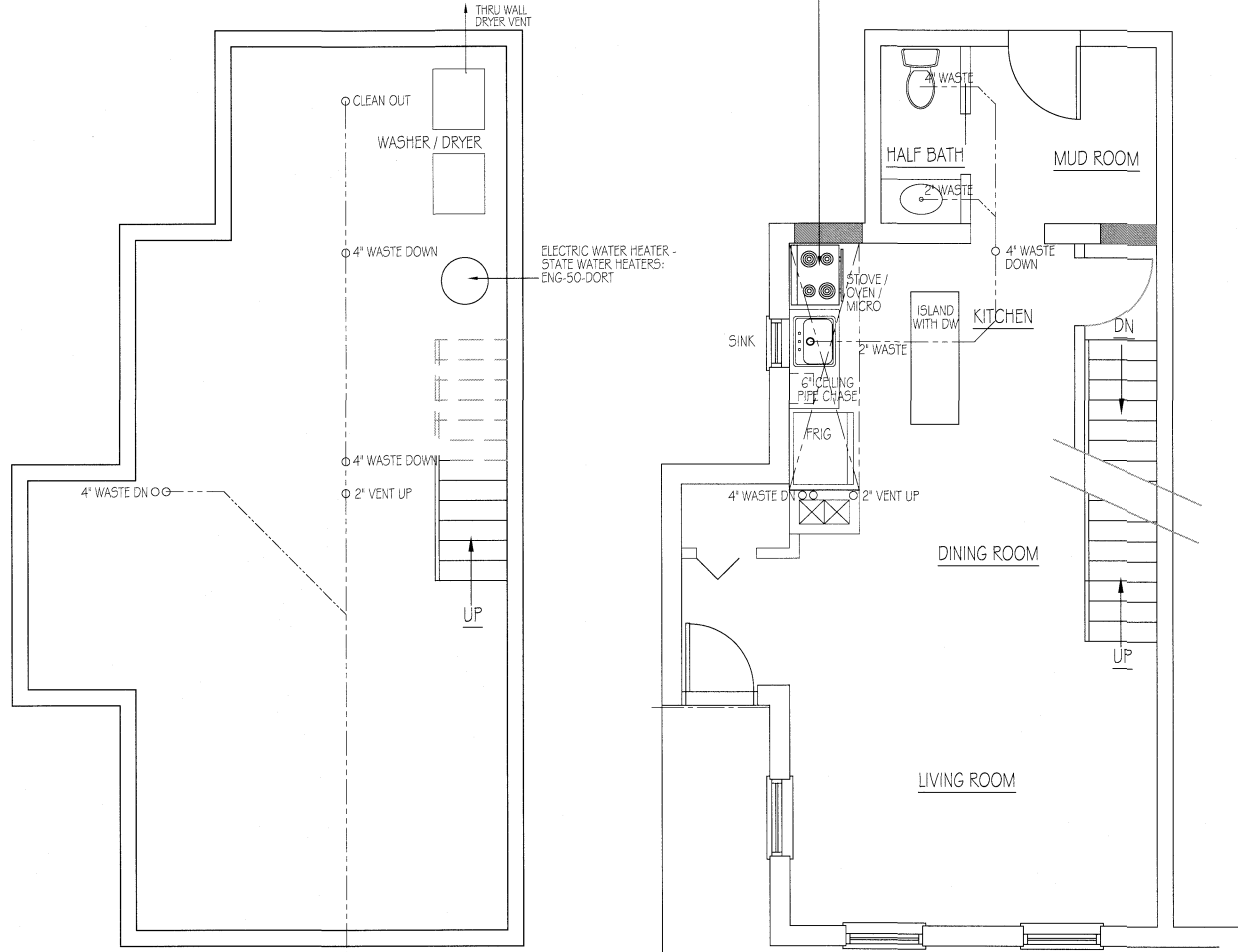
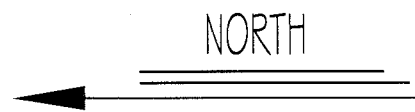


PLUMBING NOTES:

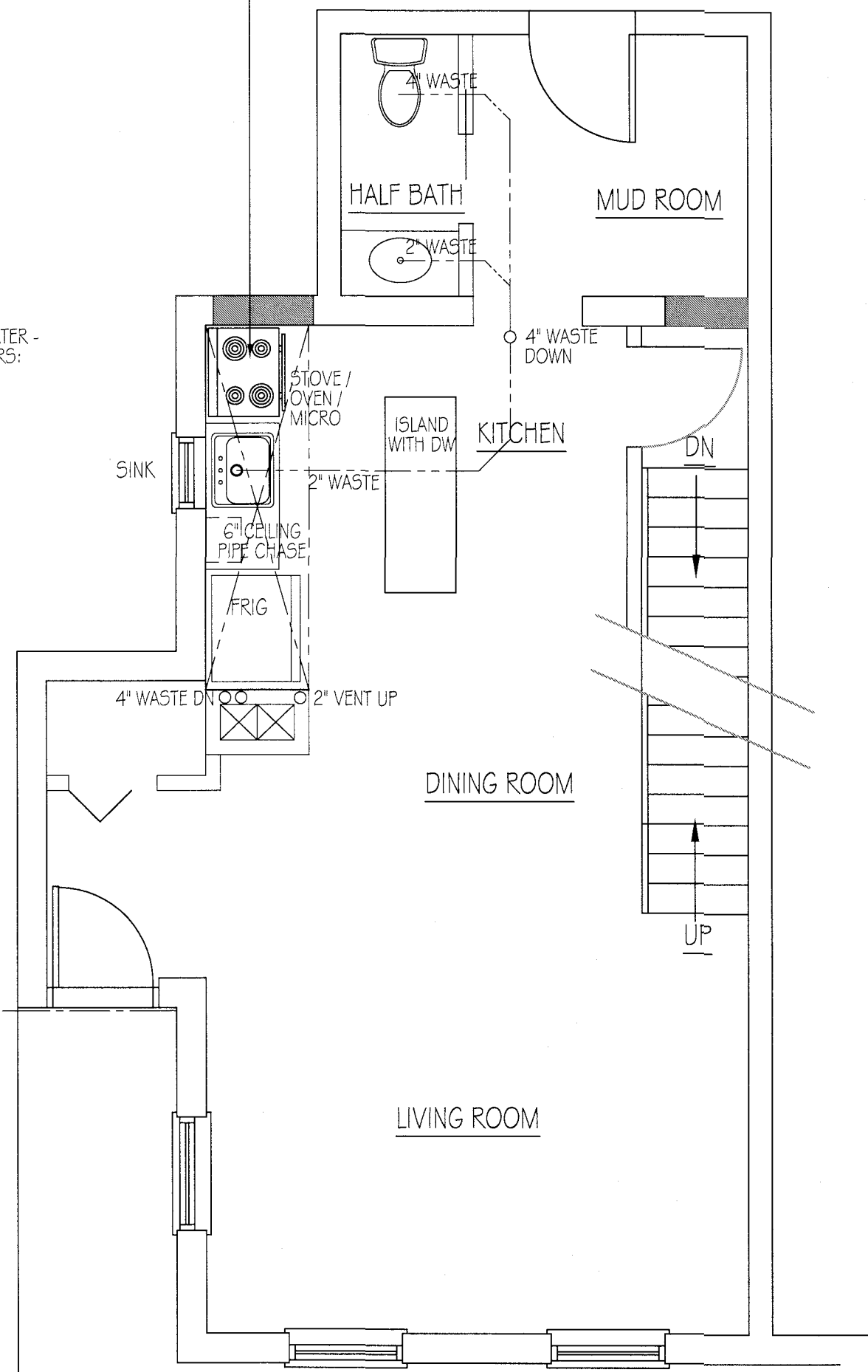
1. ALL WORK TO BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL PLUMBING CODE. IT IS THE CONTRACTORS RESPONSIBILITY TO BE FAMILIAR WITH THE CODES AND INSTALL THE WORK ACCORDINGLY.
2. CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS, FEES, LICENSES AND INSPECTIONS.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS ON SITE PRIOR TO BIDDING AND BEGINNING WORK.
4. ALL FINAL CONNECTIONS BY THIS CONTRACTOR TO ALL EQUIPMENT REQUIRING PLUMBING WORK.
5. CONTRACTOR SHALL OBSERVE OSHA SAFETY STANDARDS AND MAINTAIN AREA CLEAN.
6. ALL CONTRACTORS DEBRIS SHALL BE REMOVED FROM SITE AND PROPERLY DISPOSED OF DAILY.
7. ALL SOIL WASTE AND VENT PIPING TO BE SCHEDULE 40 PVC, TYPE DWV, WITH PVC SOCKET TYPE PIPE FITTINGS AND SOLVENT CEMENT JOINTS. FOR CEILING WITH RETURN AIR PLENUMS, PIPING SHALL BE GALVANIZED STEEL FOR VENT PIPING & CAST IRON PIPE FOR DRAINAGE PIPING.
8. BELOW GROUND WATER PIPING TO BE TYPE 'K' COPPER WITH 95 TA ANTIMONY SOLDER JOINTS.
9. ABOVE GROUND WATER PIPING TO BE TYPE 'L' COPPER WITH 95 TA ANTIMONY SOLDER JOINTS.
10. INTERIOR WATER PIPING, VALVES, FITTINGS, AND FLANGES SHALL BE INSULATED WITH 1" THICK FIBERGLASS WITH VAPOR BARRIER, ALL SERVICE JACKET. PROVIDE PIPE SHIELDS AT ALL HANGER AND SUPPORT LOCATIONS.
11. CONNECT ALL FIXTURES AND EQUIPMENT WITH WATER AND/OR DRAINAGE SERVICES.
12. PROVIDE STOP VALVES ON ALL WATER CONNECTIONS.
13. PROVIDE SHOP DRAWINGS OF ALL FIXTURES, TRIM, DRAINS, AND SPECIALTIES FOR REVIEW PRIOR TO ORDERING EQUIPMENT.
14. ALL TRIM, TRAPS, ESCUTCHEON PLATES, SEAT HINGES, AND ANY MISCELLANEOUS PARTS OF FIXTURES SHALL BE CHROME PLATED BRASS.
15. BEFORE PLACING IN SERVICE, ALL NEW WATER LINES UNDERGROUND AND WITHIN THE BUILDING SHALL BE CHLORINATED TO THE SATISFACTION OF THE OWNER IN ACCORDANCE WITH AWWA SPECIFICATION C601-53T.
16. ALL PIPING TO BE CONNECTED SHALL BE TESTED BEFORE ERECTION OF ENCLOSED CONSTRUCTION. TEST ALL PIPING TO BE INSULATED BEFORE COVERING IS APPLIED. TEST ALL UNDERGROUND PIPING BEFORE BACKFILLING.
17. GAS PIPING TO BE SCHEDULE 40 BLACK STEEL HAVING BEVELED ENDS AND WELDED JOINTS, INSTALLED IN ACCORDANCE WITH GAS CO. REQUIREMENTS. INSTALL NIPPLE & GAS CAP DRIP AT LOW POINTS OF ALL APPARATUS & PIPING. PROVIDE KEY TYPE SHUT-OFF COCK AT EACH BRANCH.
18. PROVIDE FIRE STOPPING AT ALL FIRE WALL PENETRATIONS. SEE ARCHITECTURAL DRAWINGS FOR FIRE WALL LOCATIONS.
19. PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS.
20. FOR WATER CLOSETS ON 'GYPCRETE' FLOORS, PROVIDE WATER CLOSET FLANGE EXTENSION RING.
21. ALL HORIZONTAL RUNS OF RAIN WATER CONDUCTORS AND PANS AND SUMPS SHALL BE INSULATED 1" THICK FIBERGLASS WITH ALL SERVICE JACKET.
22. CONDENSATE DRAINS IN RETURN AIR CEILING SHALL BE COPPER.
23. ALL APPURTENANCES REQUIRED FOR A COMPLETE AND OPERATING SYSTEM ARE NOT SHOWN. CONTRACTOR TO PROVIDE ALL APPURTENANCES NECESSARY FOR A COMPLETE OPERATING SYSTEM. CONTRACTOR TO CONTACT ARCHITECT/ENGINEER IN WRITING, PRIOR TO BIDDING, FOR CLARIFICATION OF DISCREPANCIES OR OMISSIONS IN DESIGN DOCUMENTS.

NOTE: PROVIDE 3/4" GAS PIPE TO SERVE GAS STOVE / OVEN. GAS PIPE TO BE SCHEDULE 40 BLACK STEEL HAVING BEVELED ENDS AND WELDED JOINTS, INSTALLED IN ACCORDANCE WITH GAS CO. REQUIREMENTS. INSTALL NIPPLE AND GAS CAP DRIP AT LOW POINTS OF ALL APPARATUS AND PIPING. PROVIDE KEY TYPE SHUT-OFF COCK AT EACH BRANCH.

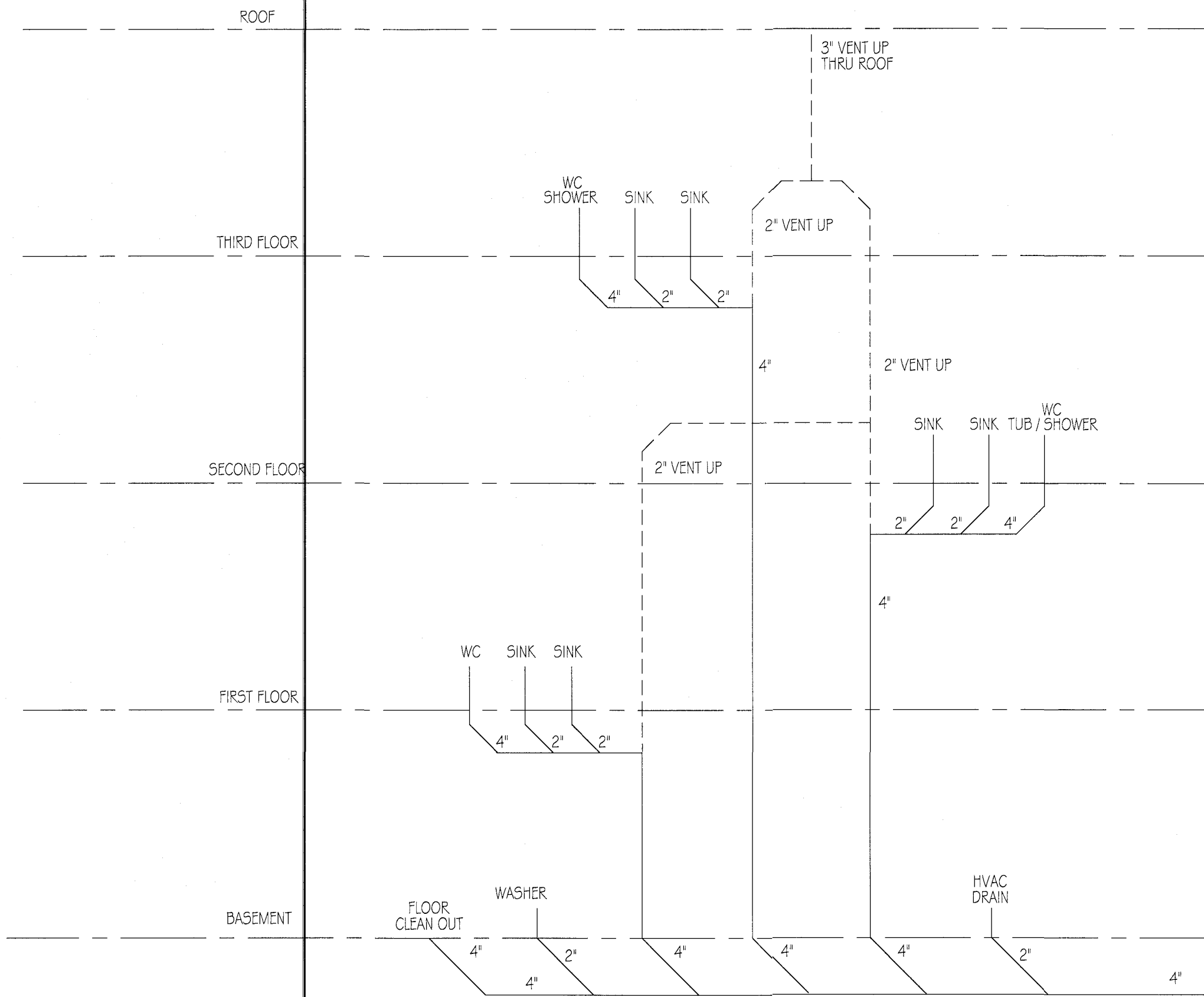
NOTE: DUE TO DETERIORATING STRUCTURAL CONDITIONS, LIMITED INTERIOR SURVEYING WAS PERFORMED. CONTRACTOR TO FIELD VERIFY CONDITIONS / DIMENSIONS AS SHOWN ON DRAWINGS AND MAKE THE ARCHITECT AWARE OF ANY DISCREPANCIES.



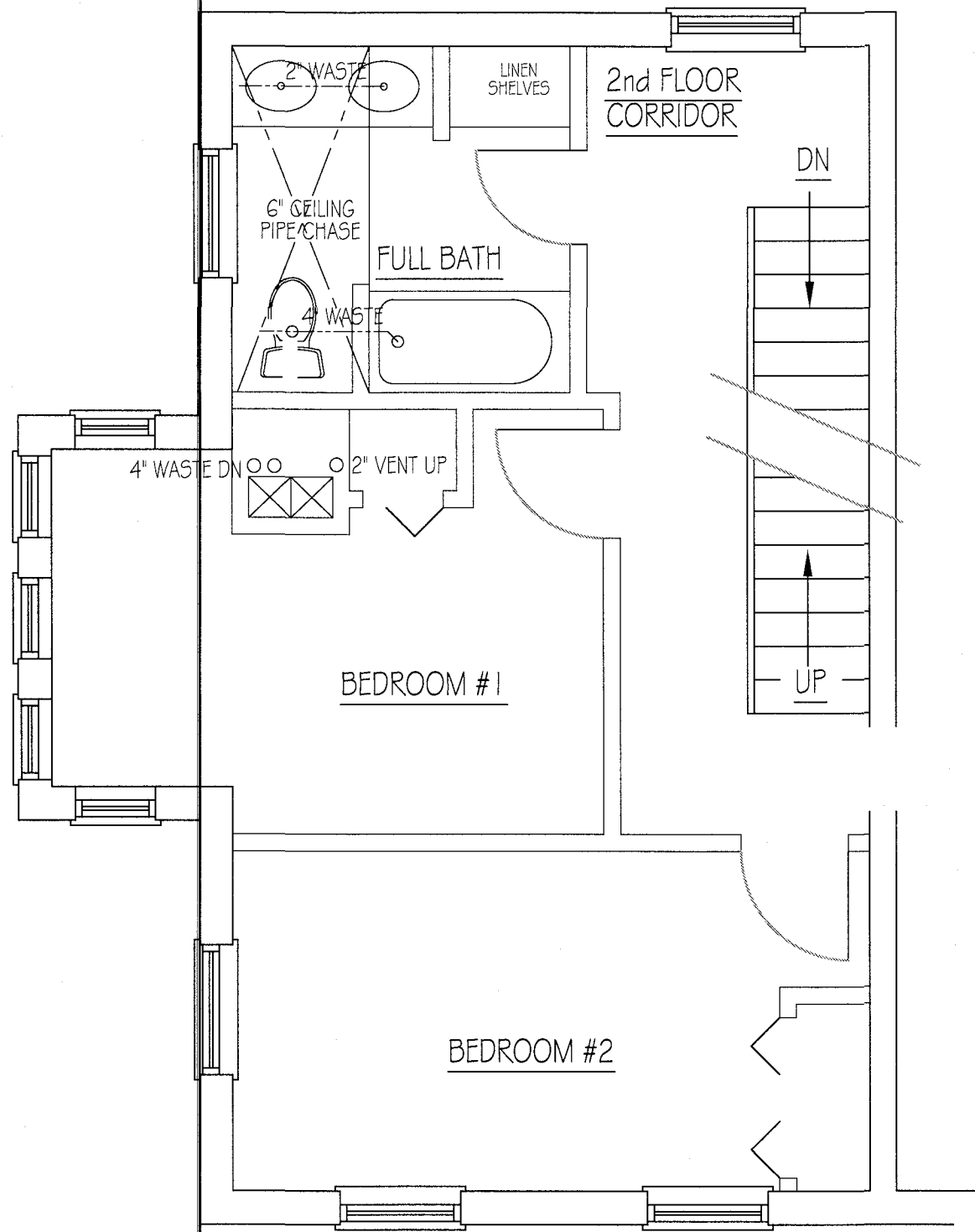
① BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



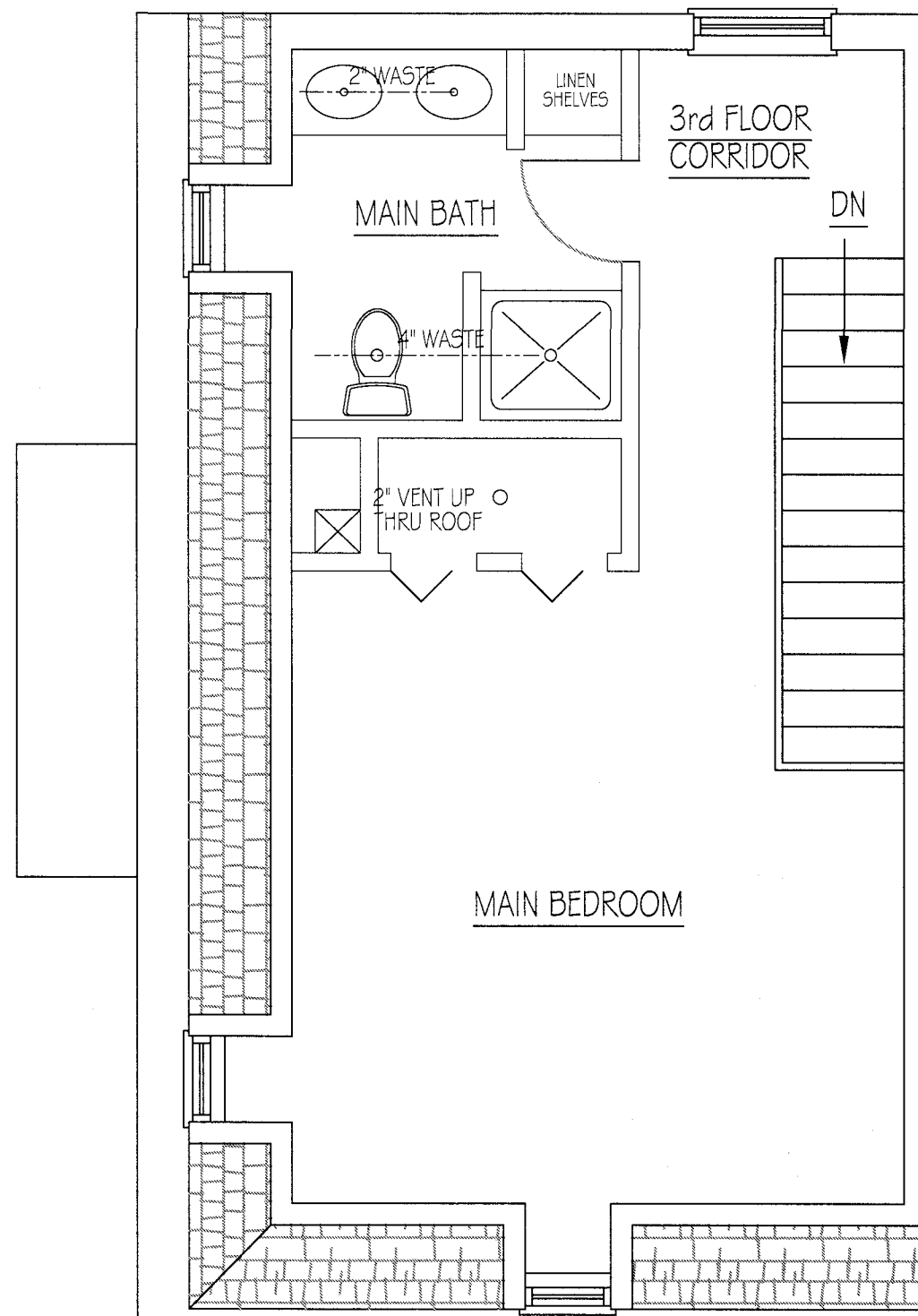
② FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
NORTH LOMBARD STREET



③ PLUMBING RISER DIAGRAM  
NOT TO SCALE



④ SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



⑤ THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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